INCORPORATED VILLAGE OF FARMINGDALE 361 MAIN STREET FARMINGDALE, NY 11735 *BOARD OF TRUSTEES* WORK SESSION AGENDA Monday, August 1, 2022

- 1. Tonight's public hearings/Hearings to be scheduled
- 2. Fire Department
- 3. Building Department: The Carlyle (formerly Robby Lee) has told the Mayor that they have finally closed financing – getting on track. 7--11 and Sunoco – to redesign the site based on feedback from the recent hearing: Site redesigned presented at hearing-referred to planning board: Planning board meeting completed now proceeding to then ZBA. Peter Flory/D&F Development (Sterling Green) building permit been issued: Rodent and property maintenance issues being addressed on Cobb Place summons issued awaiting disposition thru Village Court: Claudio to follow up unauthorized signage affixed to poles or lawn signs: 109 & Conklin auto body (Schmeltzer) has re-started and stopped – Mr. Schmeltzer was in and said he will restart week of 6/27 and has not but says he will be underway this week – work has not started: Mr. Schmeltzer's attorney has been contacted and we are waiting for a status report. Stratford Green rat issues being addressed solely by Stratford Green which to date has not been successful – their vendor has not dealt with the rat issue-their vendor has placed rat traps and that the building department has verified that the traps are baited Additionally, the LIRR has been notified that there is a rat issue – issue being addressed piecemeal: Application for one home on south side of the Black Course Development has been submitted – going to planning board – waiting for planning board application N/C. Post Office site has been cleaned up with only fence and shed issues remaining. "Haunted Hamburgers" coming to Friendly's on 109 Building Permit issued need to come to the board for more than 12 seats: Asplundh has done test holes for pole removal and line burial on Main Street: Daler Pizza @ 331 main Street has to come to the Board for more than 12 seats building permit has been issued. Vacant house at 55 Clinton Avenue needs follow up with lot condition and possible animals inside along with status report from Prochamps. The Board requested an ownership check of certain commercial properties on eastern Parkway. The Board also requested that the Building Department address certain illegal housing issues and to investigate the condition of other Eastern Parkway residences. Outdoor dining was discussed for Bagel Hut and the gas station at the corner of Heisser Lane – outdoor dining is permitted through a permit at no charge. A discussion took place about exterior noise and decibel levels after Music on Main and Fridays & Saturdays.
- 4. Highway Department: Lot Maintenance and Routine Maintenance of Main Street: Routine garbage pick-up in Parks and dog stations: Ongoing storm prep/planning and debris removal: DPW Garage Renovations substantially completed punch list items only. Stumps are located at 90 Conklin, Citibank Building on Conklin, Clinton Street. The PO has been issued to West Star for the new DPW garage waiting for working plans and foundation drawings. Preliminary site work, including retaining wall, will be done by Roadwork Ahead. Prepping for Movies and Pops Concerts:

From Ken Tortoso:

Here's a work list of DPW job assignments for the past week 725

1# Weekly watering still full steam ahead

2# Replacing American flags

INCORPORATED VILLAGE OF FARMINGDALE 361 MAIN STREET FARMINGDALE, NY 11735 *BOARD OF TRUSTEES* WORK SESSION AGENDA Monday, August 1, 2022

3# Crews have been trimming trees

4# Roadwork Ahead working at DPW in preparation for the new building

5# Stapleton is coming in on August 1st for stump grinding

6# Benches have been moved around at 5 Corners Park, still waiting on the 3rd bench to be delivered

7# Pickup truck #7 still at check point for the new fly wheel

8# Movies and the Village Pops are still running strong, might run out of popcorn

9# Water Dept and Merrick Utilities repaired a water service on Hampshire Dr, underground High Pressure gas and electric lines made it rough

10# TOB lighting Dept. will be in next week to repair some outages on Lenox & Elizabeth St.

- 5. Water Department: Water Tower Construction Continues: The Tank is now complete: Interior work is underway for the ceiling that will protect the booster pumps. Insulation will be added to the walls of the booster pump room along with covering. Discussion about wireless services move from Existing Tank to the new tank without going to a temporary pole is desired -Including NCPD microwave: Three million awarded to VOF in Gov. Hochul's budget for Improvements WIIA Grant. Documents signed and submitted to the State to receive the funding. New Gas Line arranged with National Grid: The Mayor requested the number of cell providers that can be accommodated on the new tank. Grant Avenue driveway apron needs to be replaced Roadwork Ahead has this on their repair list. New Doors and hatch approved for all well locations are in process of being installed. Ralph, Brian and Geary met with Paul Granger at Hicksville Water to look at 1,4 Dioxane treatment installation. Meeting scheduled with PWGC to review pollution control measures and approach to solutions - PWGC recommends pre-construction purchase of equipment -. WIIA grant money to be used for the purchase for Advanced Oxydation Process and Granulated Activated Carbon Equipment, Peroxide Tank and Computer Interfaces: The Mayor and Village Administrator reported on a recent meeting with consultant PWGC and indicated that pre-purchasing of pollution control equipment was recommended. The Mayor and Village Administrator had visited Hicksville Water District and they have already installed and are operating the equipment that can be used by Farmingdale to treat for the 1,4 dioxane contaminant.
- 6. Code Department: Working to 10pm Thursday, Friday and Saturday
- 7. Farmingdale Meat Market they want to sponsor a free event for the community.
- 8. Make Uber parking/pickup on Main St. after 10:00 p.m.

INCORPORATED VILLAGE OF FARMINGDALE 361 MAIN STREET FARMINGDALE, NY 11735 BOARD OF TRUSTEES AGENDA Monday, August 1, 2022 8:00 PM

- 1. Pledge of Allegiance/Moment of Silence.
- 2. Announcements-
 - The next Board meeting with public comment period will be held on Tuesday, September 6th, 2022 at 8:00 p.m. Regular Work Sessions will be held on Monday, August 15th, 2022, Monday, August 22nd, 2022 and Tuesday, September 6th, 2022 at 7:00 p.m.
 - The following resolutions were approved at the July 25th Work Session:
 - Approved and authorized the Mayor to execute and to declare it a negative declaration under SEQRA the "First Amendment to Land and Tower Lease Agreement" between the Incorporated Village of Farmingdale and New York SMSA Limited Partnership d/b/a Verizon Wireless, a limited partnership in the State of New York.
 - Approved a request from the Farmingdale Fire Department for the use of the back of Village Green for a Department Picnic on Sunday, August 21, 2022.
 - Accepted the purchase of a table of 10 (\$1,000) and a half page color ad (\$350) in support of the NCVOA Annual Dinner.
 - Agreed to pay time and a half to Code Officers during Music on Main from 5:00 p.m. to completion, retroactive to the first Music on Main in 2022.
 - Reduced Justice Anthony Addeo's salary by \$3,000 and to increase Deputy Justice Thomas Dell Aquila's salary by \$3,000 at the request of Justice Addeo.
 - Approved the expansion of Parking Lot #9 by twenty spaces at a total cost of \$57,000. Funding for this expansion will come from Incentive Bonus Monies received.
- 3. Resolution to approve the following Regular Meeting business items: Motion to approve.
 - Abstract of Audited Vouchers #1164 dated August 1, 2022
 - Minutes of Board Meetings of 7/11/22, 7/25/22
 - Use of Village Property:
 - Runners Edge & Race Awesome are requesting to hold their 17th annual Main Street Mile running event on Saturday, September 3, 2022 beginning at 8:30 a.m. at the Powell Cemetery and ending on Main Street near Village Hall. The course will need to be closed by 7:00 a.m. for set-up and will close at approximately 10:30 a.m.
 - Block Party Applications:

INCORPORATED VILLAGE OF FARMINGDALE 361 MAIN STREET FARMINGDALE, NY 11735 *BOARD OF TRUSTEES* AGENDA Monday, August 1, 2022 8:00 PM

- o None
- Tax certiorari's:
 - Tax Certiorari settlement Re: G. J. M. E. LLC Sec 49, Blk. 166, Lot 38: Premises 45 Conklin Street (next to Guercio & Guercio LLP), for tax years 2012/13 through and including 2022/2023 for a refund of \$13,700, with a reduction in assessed value to \$1,950,000. If assessment remains at the reduced value for tax years 2023/24 through and including 2025/26, no Article 7 proceedings will be filed.
- 4. Building Permits list attached.
- 5. Resolution to set the following public hearings on Tuesday, September 6, 2022 at 8:00 p.m.: Motion to approve.
 - To revise the Village code parking section including: numbering, adopting certain state regulations and modifications to fines.
- 6. **Public Hearing** for a Special Use Permit for 331 Main Street (Daler Pizza) for a pizza restaurant with 54 seats:
 - Motion to open:
 - Motion to close:
 - Motion to:
- 7. Public Hearing for a Special Use Permit for 332 Fulton Street for a restaurant with 86 seats:
 - Motion to open:
 - Motion to close:
 - Motion to:
- 8. Resolution to approve a Fire Department purchase of a complete CAT II computer system with a fingerprint reader and QR tags for the Scott bottle filling station from Costal Fire Systems, Inc. Purchase is on NY State Contract PC69016 at a price of \$12,445.95. **Motion to approve**.
- Resolution to approve Fire Command & Control as sole source provider for the purchase of a Portable Command Post (Medical Branch) for the Fire Department at a cost of \$3,950.00.
 Motion to approve.

INCORPORATED VILLAGE OF FARMINGDALE 361 MAIN STREET FARMINGDALE, NY 11735 BOARD OF TRUSTEES AGENDA Monday, August 1, 2022 8:00 PM

- 10. Resolution to allow Vision Long Island to apply for a New York State Downtown Revitalization Initiative (DRI) grant for the Village of Farmingdale. **Motion to approve.**
- 11. Beautification Report
- 12. Old Business
- 13. Correspondence letter from Msgr. Rowan at St. Kilian's and Commissioner Ryder of the NCPD.
- 14. Fair Housing Complaints & Comments
- 15. Public Comment

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ABSTRACT	OF	AUDITED	VOUCHERS
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	Capital	FUND	No. 1164
VILLAGE OF Farmingdale	, COUNTY OF	Nassau	, NEW YORK

Date of Audit: 8/1/22

(Original to Village Treasurer - Duplicate to be retained by Village Clerk or Auditor)

VOUCHER NUMBER	NAME OF CLAIMANT - ADDRESS	1	APPROPRIATION CODE	AMOUNT	CHECK NUMBER
7/1/2022	STAPLES ADVANTAGE			399.96	125
7/8/2022	D&B ENGINEERS AND ARCHITECTS, P.C.			8,708.97	125
7/22/2022	GRAINGER INC			3,099.76	125
7/22/2022	ISLAND ENERGY CORP			3,200.00	125
7/29/2022	P.W. GROSSER CONSULTING INC			32,725.00	125
7/29/2022	D&B ENGINEERS AND ARCHITECTS, P.C.			4,296.24	125
7/29/2022	P.W. GROSSER CONSULTING INC			17,992.50	126
7/29/2022	WESTAR CONSTRUCTION GROUP INC			20,801.20	126
			0		
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				91,223.63	

To the Treasurer of the above VILLAGE:

The above listed claims having been presented to the

Board of Trustees

of the above-named Village, and having been duly audited and allowed in the amounts as shown on the above-mentioned date, you are hereby authorized and directed to pay to each of the listed claimants the amount allowed upon his claim appearing opposite his name.

In Witness Whereof, I	have here	unto set my h	Mayor	of	
		5		MAYOR-AUDITOR-CLERK	
the above Village this	1st	_ day of	August	, <u>202</u> 2	

	ABSTRA	CT OF AUDITED	VOUCHERS	Page 1 of 4
		General	FUND	No1164
VILLAGE OF	Farmingdale	, COUNTY OF	Nassau	, NEW YORK

Date of Audit: _____8/1/22

tte of Audit:

(Original to Village Treasurer - Duplicate to be retained by Village Clerk or Auditor)

VOUCHER NUMBER	NAME OF CLAIMANT - ADDRESS		1	AMOUNT	CHECK
7/1/2022	HEADS UP IRRIGATION INC			5,188.00	2171
7/1/2022	SITE SPECIALISTS LTD			4,699.50	2171
7/1/2022	SO SHORE FIRE & SAFETY EQUIP			406.00	2171
7/1/2022	ACCURATE COURT REPORTING SERVICE IN	5		217.00	2171
7/1/2022	AMERICAN PROTECTION BUREAU			600.00	2171
7/1/2022	JOHN BROSNAN			275.00	2172
7/1/2022	HILDA CARMAN			1.020.60	2172
7/1/2022	DONALD CHRISTIANSEN			1,020.60	2172
7/1/2022	PATRICIA CHRISTIANSEN			1,020.60	2172
7/1/2022	GEORGE COOK			1.020.60	2172
7/1/2022	RUBY COOK		1	1.020.60	2172
7/1/2022	DIANE CORRERI			1,020.60	2172
7/1/2022	LOUIS CORRERI			1,020.60	2172
7/1/2022	NICHOLAS CUPAS			1,020.60	2172
7/1/2022	JOANN EDLING			1,020.60	217
7/1/2022	FIREFLY ADMIN INC			4.392.68	217:
7/1/2022	ANDREW FISCH			340.20	2173
7/1/2022	NANCY GILLIES			1,020.60	2173
7/1/2022	BARBARA GRIFFITHS			1,020.60	2173
7/1/2022	FREDERICK GRIFFITHS			1,020.60	217:
7/1/2022	JMI LANDSCAPING INC	VOID		4,840.44	2173
7/1/2022	MICHAEL F. KELLY	VOID		1,020.60	217.
7/1/2022	ADELAIDE KETCHAM			1,020.60	217.
7/1/2022	MAY KOUKOS			1,020.60	217.
7/1/2022	MINUTEMAN PRESS CORP			66.62	2173
7/1/2022	NASTRA AUTOMOTIVE IND INC		1 1	117.64	2173
7/1/2022	NEWSDAY LLC			628.00	2174
7/1/2022	BARBARA NICOSIA				
7/1/2022	DONALD OTT			2,041.20	2174
7/1/2022	QUICK AUTO PARTS DISTRIBUTORS INC			1,020.60	2174
7/1/2022	LODA ROMANELLI			137.52	2174
7/1/2022	RONALD RUBINO			3,265.80	2174
7/1/2022	KEITH RYAN		1 1	1,428.60	2174
7/1/2022	RAYMOND RYAN			680.40	2174
7/1/2022	JOHN SCHERER	VOID		1,020.60	2174
7/1/2022				1,020.60	2174
7/1/2022				1,020.60	2175
	SO SHORE FIRE & SAFETY EQUIP			190.40	2175
7/1/2022	STAPLES ADVANTAGE			225.62	2175
7/1/2022	VALDE ICE CREAM			303.00	2175
7/1/2022	VERIZON			70.01	2175
7/6/2022	JMI LANDSCAPING INC			4,815.44	2175
7/8/2022	AMERICAN PROTECTION BUREAU			600.00	2175
7/8/2022	ARROW EXTERMINATING COMPANY INC			150.00	2175
7/8/2022	CMJ EMERGENCY LIGHTING			495.00	2175
7/8/2022	CORELOGIC			1,451.65	2175
7/8/2022	EMERGENCY RESPONDER PRODUCTS LLC			572.99	2176
7/8/2022	ESCREEN INC		1	117.00	2176
7/8/2022	FARMINGDALE FIRE DEPT	TOTAL	1 1	 350.73	2176

To the Treasurer of the above VILLAGE:

The above listed claims having been presented to the

Board of Trustees

of the above-named Village, and having been duly audited and allowed in the amounts as shown on the above-mentioned date, you are hereby authorized and directed to pay to each of the listed claimants the amount allowed upon his claim appearing opposite his name.

In Witness Whereof, I have hereunto set my hand as					
				MAYOR-AUDITOR-CLERK	01
the above Village this	1st	day of	August	, 2 <u>022</u> .	

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ABSTRACT OF AUDITED VOUCHERS

, COUNTY OF_

Page 2 of 4

, NEW YORK

1164

No.

General

_____FUND

Nassau

VILLAGE OF ____Earmingdale_

Date of Audit: 8/1/22

(Original to Village Treasurer - Duplicate to be retained by Village Clerk or Auditor)

VOUCHER NUMBER	NAME OF CLAIMANT - ADDRESS	1	APPROPRIATION CODE	AMOUNT	CHECK
7/8/2022	IKE GALANOUDIS			200.00	2176
7/8/2022	KINGS HARDWARE INC			567.39	2176
7/8/2022	KOMATSU FINANCIAL LLP			2,546.81	2176
7/8/2022	FRANCIS LAU			1,233.75	2176
7/8/2022	LI POWER EQUIPMENT INC			1,299.98	2176
7/8/2022	LIBERTY CAPITAL SERVICES LLC			500.00	2176
7/8/2022	LOGO MAX INC			180.00	2176
7/8/2022	MARKETING MASTERS NY INC			1,625.00	2177
7/8/2022	JOYCE MCKAY			600.00	2177
7/8/2022	MULTI-MEDIA COMMUNICATION			931.95	2177
7/8/2022	NORTHEAST SWEEPERS & RENTALS INC.			2,766.64	2177
7/8/2022	PERSHING LLC			15,000.00	2177
7/8/2022	PSEGLI			77.83	2177
7/8/2022	QUEST COMPUTER PROD INC			1,500.00	2177
7/8/2022	RNM GRAPHICS CORP			800.00	2177
7/8/2022	ROADWORK AHEAD INC			58,898.50	2177
7/8/2022	STAPLES ADVANTAGE			38.99	2177
7/8/2022	TOTAL COMPUTER SYSTEMS LTD			2,016.00	2178
7/8/2022	VERIZON WIRELESS SERVICES. LLC			778.73	2178
7/8/2022	ROBERT WARSHAUER			157.28	2178
7/8/2022	BEE READY FISHBEIN HATTER & DONOVAN LLP			500.00	2178
7/8/2022	FIREMATIC SUPPLY CO INC			1,107.57	2178
7/8/2022	OFF OF THE STATE COMPTROLLER			1,469.00	2178
7/8/2022	STERLING SANITARY SUPPLY IN			47.40	2178
7/8/2022	SUPREMACY SERVICES INC.			195.00	2170
7/13/2022	THOMAS A. DELL AQUILA				
7/15/2022	HENDRICKSON TRUCK CENTER INC			350.00	2178
7/15/2022	AMAZON CAPITAL SERVICES			13,194.00	2178
7/15/2022	AMAZON CAPITAL SERVICES			99.00	2179
7/15/2022	BEE READY FISHBEIN HATTER & DONOVAN LLP			1,665.00	2179
7/15/2022				500.00	2179
	COASTAL FIRE SYSTEMS INC			4,142.79	2179
7/15/2022	BRAD DEMILO			200.00	2179
7/15/2022	FARMINGDALE CHAMBER OF COMMERCE			150.00	2179
7/15/2022				1,251.40	2179
7/15/2022	HEADS UP IRRIGATION INC			275.00	2179
7/15/2022	HICKSVILLE SPRING SERVICE CENTER INC			45.00	2179
7/15/2022	KONICA MINOLTA BUSINESS SOLUTIONS USA INC			137.81	2179
7/15/2022	LOWE'S			786.82	2180
7/15/2022	NATIONAL GRID			394.20	2180
7/15/2022	NEWSDAY LLC			344.00	2180
7/15/2022	NYS SOC OF MUNIC FIN OFF			80.00	2180
7/15/2022	OPTIMUM			255.50	2180
7/15/2022	PAYBYPHONE TECHNOLOGIES INC			200.00	2180
7/15/2022	PITNEY BOWES INC			925.59	2180
7/15/2022	JEFFREY PRITZKER			50.00	2180
7/15/2022	PSEGLI			17,531.03	2180
7/15/2022	QUICK AUTO PARTS DISTRIBUTORS INC			121.95	2180
7/15/2022	RNM GRAPHICS CORP TOTAL			363.00	2181

To the Treasurer of the above VILLAGE:

The above listed claims having been presented to the _

Board of Trustees

of the above-named Village, and having been duly audited and allowed in the amounts as shown on the above-mentioned date, you are hereby authorized and directed to pay to each of the listed claimants the amount allowed upon his claim appearing opposite his name.

In Witness Whereof,	I have here	eunto set my l	hand as	Indyer	of
		y		MAYOR-AUDITOR-CLERK	
the above Village this	1st	day of	August	, 2 <u>022</u> .	

Form (GU
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A	BSTRACT	OF	AUDITED	VOUCHERS	
	G	enera	d.	*** ***	No.

COUNTY OF.

Page 3 of 4

NEW YORK

1164

FUND

Nassau

VILLAGE OF _____ Farmingdale

Date of Audit: _____8/1/22

(Original to Village Treasurer - Duplicate to be retained by Village Clerk or Auditor)

VOUCHER NUMBER	NAME OF CLAIMANT - ADDRESS	V	APPROPRIATION CODE	AMOUNT	CHECK NUMBER
7/15/2022	SAVASTA MEDICAL SERVICES PC			280.00	21811
7/15/2022	SO SHORE FIRE & SAFETY EQUIP			149.30	21812
7/15/2022	STAPLES ADVANTAGE			406.47	21813
7/15/2022	SWIFTREACH NETWORKS LLC			3,500.00	21814
7/15/2022	TERMINIX CORP			136.00	21815
7/15/2022	VALDE ICE CREAM			884.00	21816
7/15/2022	VERIZON			562.75	21817
7/15/2022	VERIZON - RPC			249.17	21818
7/22/2022	AMERICAN PROTECTION BUREAU			600.00	21819
7/22/2022	JOHN BROSNAN			275.00	21820
7/22/2022	CARR BUSINESS SYSTMS CORP			306.00	21821
7/22/2022	CSEA EMPLOYEE BENEFIT FUND			5,790.96	21822
7/22/2022	EMERGENCY RESPONDER PRODUCTS LLC			1.503.04	21823
7/22/2022	FUNDAMENTAL BUSINESS SERVICE INC			16,559,95	21824
7/22/2022	HEADS UP IRRIGATION INC			150.00	21825
7/22/2022	JMI LANDSCAPING INC			2,250.00	21826
7/22/2022	LERETA LLC			1,454.54	21827
7/22/2022	OFF OF THE STATE COMPTROLLER			1.627.00	21828
7/22/2022	PSEGLI			64.77	21829
7/22/2022	QUICK AUTO PARTS DISTRIBUTORS INC			299.90	21830
7/22/2022	SPRAGUE OPERATING RESOURCES LLC			5.302.21	21831
7/22/2022	STAPLES ADVANTAGE			312.57	21832
7/22/2022	STARKIE BROS			36.98	21833
7/22/2022	STATE OF NEW YORK - DEPT OF CIVIL SERVICE			66.430.87	21834
7/22/2022	STERLING SANITARY SUPPLY IN			250.39	21835
7/22/2022	TOWN OF BROOKHAVEN			254.00	21836
7/22/2022	VALDE ICE CREAM			492.00	21837
7/22/2022	WINTERS BROS WASTE SYSTEM			930.95	21838
7/22/2022	CARR BUSINESS SYSTMS CORP			306.00	21839
7/22/2022	DCAK-MSA ARCHITECTURE & ENGINEERING PC			1.087.50	21840
7/22/2022	JMI LANDSCAPING INC			105.00	21840
7/22/2022	LOWE'S			16.00	21841
7/29/2022	AMERICAN PROTECTION BUREAU				
7/29/2022	JOHN BROSNAN			2,373.75	21843
7/29/2022	BULLSEYE SIGN CO INC			275.00	21844
7/29/2022	CAPOBIANCO CREATIONS			10,170.00	21845
7/29/2022	CARR BUSINESS SYSTMS CORP			525.00	21846
7/29/2022	CASSONE LEASING INC.			153.00	21847
7/29/2022	COASTAL FIRE SYSTEMS INC			4,452.00	21848
7/29/2022	CONSTALL FIRE STSTEMS INC			1,260.54	21849
				378.00	21850
7/29/2022	CHARLES MICHAEL CORBISIERO			100.00	21851
7/29/2022				11,659.39	21852
7/29/2022				1,331.17	21853
7/29/2022				258.30	21854
7/29/2022	H2M ARCHITECTS ENGINEERS LAND SURVEYING			1,053.00	21855
7/29/2022	JMI LANDSCAPING INC			2,579.44	21856
7/29/2022	LI POWER EQUIPMENT INC			1,189.97	21857
7/29/2022	NEWSDAY LLC TOTAL		>	336.00	21858

To the Treasurer of the above VILLAGE:

The above listed claims having been presented to the

Board of Trustees

of the above-named Village, and having been duly audited and allowed in the amounts as shown on the above-mentioned date, you are hereby authorized and directed to pay to each of the listed claimants the amount allowed upon his claim appearing opposite his name.

In Witness Whereof,	In Witness Whereof, I have hereunto set my hand as					
				MAYOR-AUDITOR-CLERK		
the above Village this	1st	day of	August	, 2 <u>022</u>		

Form GU	ABSTRAC	T OF AUDITED	VOUCHERS	Page 4 of 4
		General	FUND	No1164
VILLAGE OF	Farmingdale	, COUNTY OF_	Nassau	, NEW YORK

Date of Audit: ____

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8/1/22

(Original to Village Treasurer - Duplicate to be retained by Village Clerk or Auditor)

NUMBER	NAME OF CLAIMANT - ADDRESS	√	APPROPRIATION CODE	AMOUNT	CHECK NUMBER
7/29/2022	RAYMOND RYAN			1,020.60	2185
7/29/2022	SANTANDER BANK NA			6,912.31	2186
7/29/2022	SO SHORE FIRE & SAFETY EQUIP			306.55	2186
7/29/2022	STAPLES ADVANTAGE			14.58	2186
7/29/2022	DAVID TURKIEW			100.00	2186
7/29/2022	VALDE ICE CREAM			678.00	2186
				010.00	2100
	τοτ	AL		355,857.67	

To the Treasurer of the above VILLAGE:

The above listed claims having been presented to the _

Board of Trustees

of the above-named Village, and having been duly audited and allowed in the amounts as shown on the above-mentioned date, you are hereby authorized and directed to pay to each of the listed claimants the amount allowed upon his claim appearing opposite his name.

In Witness Whereof.	I have hereunto set			of
			MAYOR-AUDITOR-CLERK	01
the above Village this	1st day	of August	2022	

ABSTRACT OF AUDITED VOUCHERS

		Payroll		No1164
VILLAGE OF	Farmingdale	, COUNTY OF		, NEW YORK

Date of Audit: 8/1/22

(Original to Village Treasurer - Duplicate to be retained by Village Clerk or Auditor)

VOUCHER NUMBER	NAME OF CLAIMANT - ADDRESS	1		AMOUNT	CHECK NUMBER
6/2/2022	NYS EMPLOYEES RETIRE SYST VOI	D		2,870.41	6022022
6/30/2022	CSEA INC FINANCE DEPT			379.91	2023
6/30/2022	PEARL INSURANCE			50.47	2024
6/30/2022	REILLY FELLMAN			355.99	20710
6/30/2022	STEPHEN FELLMAN			1,246.13	20711
6/30/2022	ERNEST KOZEE			452.78	20712
6/30/2022	COMMISSIONER OF TAXATION AND FINANCE			162.00	20713
6/30/2022	NYS DEFERRED COMP PLAN			3,986.16	7012
7/5/2022	NYS EMPLOYEES RETIRE SYST		1	3,001.90	7052022
7/15/2022	CSEA INC FINANCE DEPT			379.91	202
7/15/2022	PEARL INSURANCE			50.47	2026
7/15/2022	REILLY FELLMAN			322.50	20714
7/15/2022	STEPHEN FELLMAN			1,365.83	2071
7/15/2022	NICHOLAS FRIGERIO			577.29	20716
7/15/2022	ERNEST KOZEE			603.10	20717
//15/2022	COMMISSIONER OF TAXATION AND FINANCE			180.00	2071
//15/2022	NYS DEFERRED COMP PLAN			7,821.20	7152
7/27/2022	NYS DEFERRED COMP PLAN			4,728.53	7292
7/28/2022	AFLAC NEW YORK			983.92	2029
7/29/2022	CSEA INC FINANCE DEPT			379.91	2027
7/29/2022	PEARL INSURANCE			50.47	2028
7/29/2022	REILLY FELLMAN		1	253.86	20719
7/29/2022	STEPHEN FELLMAN			1,405.73	20720
7/29/2022	NICHOLAS FRIGERIO			522.25	2072
7/29/2022	ERNEST KOZEE			671.24	20722
7/29/2022	COMMISSIONER OF TAXATION AND FINANCE			186.00	20723
	TOTAL			30,117.55	

To the Treasurer of the above VILLAGE:

The above listed claims having been presented to the _

Board of Trustees

of the above-named Village, and having been duly audited and allowed in the amounts as shown on the above-mentioned date, you are hereby authorized and directed to pay to each of the listed claimants the amount allowed upon his claim appearing opposite his name.

In Witness Whereof, I have hereunto set my hand as Mayor of MAYOR-AUDITOR-CLERK of the above Village this 1st day of August , 2022.

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Form	GU
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ABSTRACT OF AUDITED VOUCHERS

	Water FUND			No.	1164	
VILLAGE OF	Farmingdale		, COUNTY OF	Nassau		, NEW YORK

Date of Audit: 8/1/22

(Original to Village Treasurer - Duplicate to be retained by Village Clerk or Auditor)

VOUCHER NUMBER	NAME OF CLAIMANT - ADDRESS	V	APPROPRIATION CODE	AMOUNT	CHECK NUMBER
7/1/2022 7/1/2022 7/15/2022 7/15/2022 7/15/2022 7/15/2022 7/15/2022 7/15/2022 7/22/2022 7/29/2022 7/29/2022 7/29/2022	RICHARD COMI HACH COMPANY OPTIMUM STAPLES ADVANTAGE CHECK POINT AUTOMOTIVE INC. HICKSVILLE SPRING SERVICE CENTER INC JCI JONES CHEMICALS INC MINUTEMAN PRESS CORP NATIONAL GRID QUICK AUTO PARTS DISTRIBUTORS INC STAPLES ADVANTAGE OPTIMUM BENSIN CONTRACTING INC J R HOLZMACHER P.E. LLC OPTIMUM			150.00 5,033.61 187.34 339.11 37.00 265.00 4,374.51 620.41 71.32 96.88 152.99 199.24 6,744.78 9,609.00 72.47	1056 1057 1058 1059 1060 1061 1062 1063 1065 1066 1067 1068 1069 1070
	TOTAL			27,953.66	

To the Treasurer of the above VILLAGE:

The above listed claims having been presented to the

Board of Trustees

of the above-named Village, and having been duly audited and allowed in the amounts as shown on the above-mentioned date, you are hereby authorized and directed to pay to each of the listed claimants the amount allowed upon his claim appearing opposite his name.

In Witness Whereof, I	l have here	IVIAYOI	of		
			235	MAYOR-AUDITOR-CLERK	01
the above Village this	1st	day of	August	, 2 <u>022</u>	

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The Work Session of the Board of Trustees of the Incorporated Village of Farmingdale was held at 7:00 p.m. on Monday, July 11, 2022.

Present:	Mayor Ralph Ekstrand
	Deputy Mayor William Barrett
	Trustee Cheryl Parisi
	Trustee Walter Priestley
	Trustee Craig Rosasco
	Deputy Clerk Daniel Ruckdeschel
	Village Attorney Claudio DeBellis
	Building Superintendent Stephen Fellman
Absent:	Administrator/Clerk/Treasurer Brian Harty

Mayor Ekstrand opened the meeting at 7:00 PM.

The following topics were discussed:

- Tonight's public hearings/Hearings to be scheduled
- Fire Department
- Building Department:
 - The Carlyle (formerly Robbie Lee) told Mayor Ekstrand that they have finally closed financing and are getting on track.
 - 7-11 and Sunoco to redesign the site based on feedback from the recent hearing. The site redesign was presented at hearing, referred to the Planning Board. The Planning Board meeting was completed.
 - Peter Florey/D&F Development (Sterling Green):
 - Ready for a building permit, closing mid to late July
 - Rodent and property maintenance issues are being addressed on Cobb Place, summons has been issued. Awaiting disposition through Village Court.
 - Village Attorney DeBellis to follow up regarding unauthorized signage affixed to poles or lawn signs.
 - Working with 317 & The Nutty Irishman to handle waste stream. They added an additional dumpster.

- Rte. 109 & Conklin St. auto body (Schmeltzer) has restarted construction and stopped. Mr. Schmeltzer was in and said that construction will restart beginning June 27 – he has not but says he will be underway this week.
- Stratford Green rat issues are being addressed solely by Stratford Green, which to date have not been successful. Their vendor has not dealt with the rat issue. Arrow Exterminating visited the site and proposed a comprehensive rat abatement for the entire area at a cost of \$15,000. Additionally, the LIRR has been notified that there is a rat issue. The issue is being addressed piecemeal.
- Application for one home on the south side of the Black Course development has been submitted and is going to the Planning Board, waiting for Planning Board application.
- The Postmaster at the Farmingdale Post Office has been given a summons regarding the fence and shed with an additional summons for high grass. Spoke to the regional and new postmaster, site has been cleaned up with only fence and shed issues remaining.
- "Haunted Hamburgers" is coming to the former Friendly's site on Route 109. Awaiting submission, doing demo.
- Asplundh has done test holes for pole removal and line burial on Main Street.
- Awaiting submittal of proposed office building at 250 Conklin Street.
- New windows and rear door approved for Village Hall.
- Monitoring Heisser Lane repair shop and Pizza shop on Merritts Rd. for rat issues.
- Highway Department:
 - Lot maintenance and routine maintenance of Main St.
 - Routine garbage pickup in parks and dog stations
 - Ongoing storm prep/planning and debris removal
 - DPW Garage renovations substantially completed, punch list items only.
 - Stumps are located at 90 Conklin St., 250 Conklin St. (Citibank), Clinton Ave.

- The PO has been issued to Westar for the new DPW garage, waiting for working plans and foundation drawings. Preliminary site work, including retaining wall, will be done by Roadwork Ahead.
- Prepping for Movies and Pop Concerts.
- Comments from Foreman Ken Tortoso: List of DPW job assignments for 7/1-7/8:
- The first Village Pops seemed to be a success, need to add one more employee to the detail. Those risers are a back breaker! The second Pops went well on our end.
- Crews are preparing for this week's Music on Main event on Main St. electrical drops, garbage pails, barricades, arrow board. capital trucks and handicap ramps are ready to go.
- Crews have been on Main St. and Conklin St. trimming weeds around light poles and garbage cans.
- Weekly watering is still on point.
- Sent Stapleton a stump/trim list.
- Barricades are out for the Jerome Drive block party on July 4th weekend.
- Sent up a few street light outages to the Town of Oyster Bay. If you see any that are out please let me know!
- Crews are still trimming some low hanging branches in the Village. If you see any that we can reach please shoot me a text.
- Shop Mechanics have been busy doing services, aka oil changes and minor vehicle repairs. Pickup truck Hwy #7 has to be sent out next week due to a bad fly wheel. We don't have the equipment to do that.
- 2 popcorn machines along with 2 cases of popcorn, 2 barricades and a cooler filled with ice will be brought to St. Kilian's Church on Friday morning, July 8th, for their 125th anniversary gala!
- 5 Corners Park had an issue with the sprinkler manifold. John from Heads Up Irrigation was on scene along with Trustee Parisi and was repaired that day.
- DPW, with the arrow board, will be working with John Iaboni this Saturday for Rte. 109 median cleaning.

- The first movie night was cancelled due to weather.
- Dropped off a barricade for the residents at Waverly Place for the Music on Main events.
- Picking up the rest of the backordered racks/shelves from Grainger for DPW.
- Westar is working on the well houses, new doors and new hatches.
- Roadwork Ahead will be working at 5 Corners Park this weekend depending on weather to pour concrete bases for the garbage pails, benches and light bases.
- Water Department:
 - Water tower construction continues. The tank is now complete. Interior work is underway for the ceiling that will protect the booster pumps. Insulation will be added to the walls of the booster pump room along with covering.
 - Discussion about wireless services move from existing tank to temporary pole is desired, including NCPD microwave.
 - \$3,000,000 has been awarded to the Village in Gov. Hochul's budget for Improvements WIIA grant. Documents have been signed and submitted to the state to receive funding.
 - o New gas line arranged with National Grid
 - Mayor Ekstrand requested a review of the number of cell providers that can be placed on the new water tank.
 - Grant Avenue driveway apron needs to be replaced, Roadwork Ahead has this on their repair list.
 - New doors and hatch approved for all well locations.
 - Mayor Ekstrand, Administrator Harty and Water Superintendent Geary Gerhardt met with Paul Grainger at Hicksville Water to look at 1,4 dioxane treatment installation.
 - Meeting scheduled with PWGC to review pollution control measures and approach to solutions.
- Code Department:
 - Working until 10:00 p.m. on Thursday, Friday and Saturday.

There being no further business, the Board adjourned to the regular meeting at 8:00 p.m.

Respectfully submitted,

Brian P. Harty, Village Clerk-Treasurer

The regular meeting of the Board of Trustees of the Incorporated Village of Farmingdale was held at 8:00 p.m. on Monday, July 11, 2022.

Present:	5 1		
	Deputy Mayor William Barrett		
	Trustee Cheryl Parisi		
	Trustee Walter Priestley		
	Trustee Craig Rosasco		
	Administrator/Clerk/Treasurer Brian Harty		
	Deputy Clerk Daniel Ruckdeschel		
	Attorney Claudio DeBellis		
	Superintendent of Buildings Stephen Fellman		

Absent: Administrator/Clerk/Treasurer Brian Harty

Mayor Ekstrand opened the meeting at 8:00 PM with the pledge of allegiance and a moment of silence.

ANNOUNCEMENTS – Mayor Ekstrand made the following announcements:

- The next Board meeting with public comment period will be held on Monday, August 1st, 2022. Regular Work Sessions will be held on Monday, July 25th, 2022, and Monday, August 1st, 2022 at 7:00 p.m.
- The following resolutions were approved at the June 21st Work Session:
 - Approved a request from Adam Tabrys of 77 Nelson Street to have a block party on Nelson Street between Harrison Place and Clinton Avenue on Saturday, August 13, 2022 (rain date August 14) from 12:00 p.m. to 10:00 p.m.
 - Approved a request from John Anastasiadis of 63 Jerome Drive to have a block party on Jerome Drive between 51-63 Jerome Drive and 92-100 Jerome Drive from 3:00 p.m. to 11:00 p.m.
 - Accepted the 2020/2021 audit report as submitted by Satty, Levine & Ciacco, CPAs.
 - Approved a request from the Cultural Arts Committee to use the Court Room for a Bonsai class on Sunday, July 24, 2022 from 11:00 a.m. to 3:30 p.m.
 - Approved an increase in base salary for DPW Foreman Kenneth Tortoso, Jr. to \$82,500.
- The following resolution was approved (4-0) at the June 27th Work Session:

 Appointed a request from the Cultural Arts Committee to use the Gazebo for an Open Mic Night, open to all ages, on Friday, July 22, 2022 at 7:00 p.m.

REGULAR MEETING BUSINESS ITEMS – Upon a motion made by Trustee Parisi and seconded by Trustee Priestley, the following items were, **RESOLVED** (#2023-07-01),

- Abstract of Audited Vouchers #1163 dated July 11, 2022.
- Minutes of Board Meetings of 6/6/22, 6/21/22, 6/27/22, as amended
- Use of Village Property:
 - Elizabeth Gardens Corp is requesting the use of the court room for their 2022 Annual Shareholders Meeting on Thursday, September 29, 2022 from 6:00 p.m. to 9:00 p.m.
 - The Women's Club of Farmingdale is requesting use of the Court Room for their monthly meetings on the following dates: 9/15/22, 10/20/22, 11/17/22, 12/15/22, 1/19/23, 2/16/23, 3/16/23, 4/20/23, 5/18/23, 6/15/23. The hours are from 10:00 a.m. to 12:00 p.m.
- Block Party Applications:
 - o None
- Tax certiorari's:
 - o None

BUILDING PERMITS – The Board of Trustees accepted the listing of the following building permits issued since last month's meeting:

DATE	LOCATION C	CONSTRUCTION/COMMENTS ARB	C/R	
6/10/2022	162 Prospect St. Cosmo Petrullo DB22-00054	Install 23 roof mounted solar panels as per drawings submitted by Empower Solar dated 6/9/22.	N/A	R
6/10/2022	27 Oakview Ave Maria Ansley PP22-00021	Oil to gas conversion	N/A	R
6/10/2022	5 Puritan Lane Carolina Luke PP22-00022	Oil to gas conversion	N/A	R
6/10/2022	387 Secatogue Ave Michael Sheehan DB22-00055	Replace roof and plywood	N/A	R
6/10/2022	48 Columbia St. Guy Aleide F22-00014	6' PVC fence	N/A	R
6/10/2022	43 Jerome Dr. Eleni & Vasili Spanos DB22-00056	Install 12 ft. diameter above ground pool with gas heater. (Note: Must be min 10' from any property line)	N/A	R

6/16/2022	6 Ridge Rd. Sheila Kennedy	Install 27 roof mounted solar panels as per drawings submitted by New York State Solar dated 6/1/22.	N/A	R
	DB22-00057	Submitted by the with full bound and a with 22.		
6/23/2022	191 Melville Rd. 191 Melville Rd LLC PP22-00023	Maintain oil to gas conversion	N/A	R
6/23/2022	860 Fulton St. D & F Development DB22-00058	New 3 story multifamiy building with 75 units of workforce housing as per drawings submitted by BHC Architects dated 6/3/22.	N/A	С
6/23/2022	15 Balcom Rd Margaret Gilbert PP22-00024	Install gas fired generator	N/A	R
6/23/2022	400 Fulton St, apt 6F Suburbia Owners LLC PP22-00025	Install new washing machine	N/A	R
6/24/2022	45 Merritts Rd. Philip Cadieux DB22-00059	Rear deck and front portico as per drawings submitted by Thomas D. Reilly P.E. dated 8/9/21.	N/A	R
6/24/2022	60 Jerome Drive Joseph Gallino DB22-00060	Install 35 roof mounted solar panels as per drawings submitted by Long Island Power Solutions dated 6/2/22.	N/A	R
6/24/2022	151 Melville Rd. Michael Iannello DB22-00061	Install 15 roof mounted solar panels as per drawings submitted by Harvest Power dated 6/14/22.	N/A	R
6/28/2022	35 Iriqouis Pl Barbara Higgins PP22-00026	Install outside gas bar-b-que	N/A	R
6/28/2022	73 Main St. Anna Salerno-Addiego FP22-00015	5' PVC fence	N/A	R
6/28/2022	170 Conklin St. St. Lukes Lutheran Church DB22-00062	Repave parking lots	N/A	С
6/28/2022	202-204 Main St. Chris Werle DB22-00063	Temporary safety wall	N/A	С
6/30/2022	332 Fulton St. Jordan Desner 332 Fulton St.	Interior alterations for restaurant with 12 seats.	N/A	С
6/30/2022	331 Main St. Staller Associates DB22-00065	Interior alterations for a pizza parlor.	N/A	С
7/1/2022	505 Conklin St. Casa Catracha DB22-00066	Install new counters and millwork along with seating for 30 people as per drawings submitted by James Nicolazzi Architect dated 9/28/21. Parking fee of \$5,000 due at certificate of occupancy.	N/A	С
7/1/2022	105 Conklin St. Conklin 105 LLC SP22-00006	ARB approved 6/28/2022	Х	С
7/1/2022	111 Conklin St. Conklin III LLC SP22-00007	ARB approved 6/28/2022	Х	С
7/1/2022	279 Main St. Spa 79 LLC DB22-00067	Interior alterations for a take out restaurant with 12 seats as per drawings submitted by Impact Architecture dated 6/23/22.	N/A	С

PUBLIC HEARING DATES – Upon a motion made by Trustee Parisi and seconded by Trustee Priestley, it was unanimously,

RESOLVED (**#2023-07-02**), to set the following public hearing for Monday, August 1, 2022 at 8:00 p.m.:

- Special Use Permit for 331 Main Street (Daler Pizza) Pizza restaurant with 54 seats
- Special Use Permit for 332 Fulton Street Restaurant with 86 seats.

PUBLIC HEARING FOR A SPECIAL USE PERMIT FOR 153 FULTON STREET – Upon a motion made by Trustee Priestley and seconded by Deputy Mayor Barrett, it was unanimously,

RESOLVED (#2023-07-03), to continue the hearing.

Howard Avrutine, attorney for the applicant, presented revised plans for the fence. Superintendent Fellman has received the final plans.

The plans will go to the Zoning Board for approval and to the Planning Board for signs.

The proposed fence between properties was discussed, the applicant is willing to take another look for a possible change.

The following public comments were made:

- A resident commented about the curb cuts, the reply was that the curb cuts are approved by New York State.
- James Israti, owner of the property north of 7-11, commented about the plans.
- A resident talked about sidewalks/continuous sidewalks

Upon a motion made by Trustee Parisi and seconded by Trustee Priestley, it was unanimously,

RESOLVED (#2023-07-04), to close the hearing.

Upon a motion made by Trustee Priestley and seconded by Deputy Mayor Barrett, it was unanimously,

RESOLVED (#2023-07-05), to grant a Special Use Permit for 153 Fulton Street to construct a 7-11 convenience store and gas station in the Business D zoning district, subject to approval of the Zoning Board and approval of signage by the Planning Board.

FD EMS MEDICAL DIRECTOR AGREEMENT – Upon a motion made by Deputy Mayor Barrett and seconded by Trustee Priestley, it was unanimously,

RESOLVED (**#2023-07-06**), to approve Fire Department EMS Medical Director contract for Dr. Jack Geffken at a price of \$4,057.46.

DEPOSIT FOR PARADES – Upon a motion made by Trustee Parisi and seconded by Deputy Mayor Barrett, it was unanimously,

RESOLVED (**#2023-07-07**), to approve the deposit of \$30,000 for non-Village sponsored parades, which will be held in escrow.

BEAUTIFICATION – Trustee Parisi reported the following:

- The flowers look good, thanks to DPW's Jim Bacon for the good job he's doing.
- More plantings coming for 5 Corners Park. A sign is due at the end of next week. Weeding is done and benches have been installed.
- DPW was complimented on the great job they did cleaning the gazebo.
- Olsen Bros. will be doing deep root feeding throughout the Village.

OLD BUSINESS – None

CORRESPONDENCE – A letter from Loda Romanelli

FAIR HOUSING COMPLAINTS & COMMENTS - None

PUBLIC COMMENT – A discussion began on the following topics:

- A resident complained that the "No left turn" signs in Palmer's parking lot and the Roslyn Savings Bank lot (exiting Conklin Street) are missing. Nassau County will be contacted to have them replaced.
- The resident also complained about the gas station at the corner of Route 109 and Heisser Lane.
- A resident said that he likes the flowers around the Village.
- A resident asked about the new business going into the old Peanuts property, regarding coverage of 100% vs. code requirement of 90% to go before the Zoning Board.

EXECUTIVE SESSION, upon a motion made by Trustee Parisi and seconded by Deputy Mayor Barrett, it was unanimously,

RESOLVED (#2023-07-08), to move to Executive Session.

Upon a motion duly made and seconded, it was unanimously,

RESOLVED (#2023-07-09), to reconvene the meeting.

There being no further business, the meeting was adjourned at 10:25 p.m.

Respectfully submitted, Brian P. Harty Village Clerk/Treasurer

The Work Session of the Board of Trustees of the Incorporated Village of Farmingdale was held at 7:00 p.m. on Monday, July 25, 2022.

Present: Mayor Ralph Ekstrand Deputy Mayor William Barrett Trustee Cheryl Parisi Trustee Walter Priestley Trustee Craig Rosasco Administrator/Clerk/Treasurer Brian Harty Deputy Clerk Daniel Ruckdeschel Village Attorney Claudio DeBellis

Mayor Ekstrand opened the meeting at 7:00 PM.

SEQRA NEGATIVE DECLARATION – Upon a motion made by Deputy Mayor Barrett and seconded by Trustee Priestley, it was unanimously,

RESOLVED (#2023-07-10), to approve and authorize the Mayor to execute and to declare it a negative declaration under SEQRA the "First Amendment to Land and Tower Lease Agreement" between the Incorporated Village of Farmingdale and New York SMSA Limited Partnership d/b/a Verizon Wireless, a limited partnership in the State of New York.

USE OF FACILITIES – Upon a motion made by Trustee Parisi and seconded by Deputy Mayor Barrett, it was unanimously,

RESOLVED (**#2023-07-11**), to approve a request from the Farmingdale Fire Department for the use of the back of Village Green for a Department Picnic on Sunday, August 21, 2022.

The following topics were discussed:

• Federal American Rescue Plan Act (ARPA): A general discussion regarding the use of ARPA funds was held. Follow up on certain project costs and potential legal settlements need to be addressed before committing the ARPA funds to a particular use.

NCVOA DINNER – Upon a motion made by Trustee Parisi and seconded by Trustee Priestley, it was unanimously,

RESOLVED (#2023-07-12), to approve purchase of a table of 10 (\$1,000) and a half page color ad (\$350) in support of the annual NCVOA Testimonial Dinner.

The discussion continued on the following topics:

- Fire Department:
 - Purchase CAT II System/PO Deputy Clerk Ruckdeschel to follow up and research state bid pricing contract. The Board will approve once the bidding process is clear.
- Building Department:
 - The Carlyle (formerly Robbie Lee) told Mayor Ekstrand that they have finally closed financing and are getting on track.
 - 7-11 and Sunoco to redesign the site based on feedback from the recent hearing. The site redesign was presented at hearing. The Planning Board meeting was completed, now proceeding to the ZBA..
 - Peter Florey/D&F Development (Sterling Green):
 - Building permit has been issued
 - Rodent and property maintenance issues are being addressed on Cobb Place, summons has been issued. Awaiting disposition through Village Court.
 - Village Attorney DeBellis to follow up regarding unauthorized signage affixed to poles or lawn signs.
 - Rte. 109 & Conklin St. auto body (Schmeltzer) has restarted construction and stopped. Mr. Schmeltzer was in and said that construction will restart beginning June 27 – he has not but says he will be underway this week. Work has not started. Mr. Schmeltzer's attorney has been contacted and we are waiting for a status report.
 - Stratford Green rat issues are being addressed solely by Stratford Green, which to date have not been successful. Their vendor has not dealt with the rat issue. Arrow Exterminating visited the site and proposed a comprehensive rat abatement for the entire area at a cost of \$15,000. Additionally, the LIRR has been notified that there is a rat issue. The issue is being addressed piecemeal.

- Application for one home on the south side of the Black Course development has been submitted and is going to the Planning Board, waiting for Planning Board application.
- The Post Office site has been cleaned up with only fence and shed issues remaining.
- "Haunted Hamburgers" is coming to the former Friendly's site on Route 109. Building permit has been issued, need to come to the Board for more than 12 seats.
- Asplundh has done test holes for pole removal and line burial on Main Street.
- Daler Pizza has to come to the Board for more than 12 seats. Building permit has been issued.
- Vacant house at 55 Clinton Avenue needs follow up, with lot condition and possible animals inside, along with status report from Prochamps.
- The Board requested an ownership check of certain commercial properties on Eastern Parkway. They also requested that the Building Department address certain illegal housing issues and to investigate the condition of other Eastern Parkway residences.
- The Board indicated that a majority were not in favor of renewing Whiskey Down Diner's south side of the walkway outdoor dining contract. The north side will remain as outdoor dining.
- Outdoor dining was discussed for Bagel Hut and the gas station at the corner of Heisser Lane. Outdoor dining is allowed with a permit at no charge.
- A lengthy discussion took place regarding exterior noise after Music on Main events, Thursday nights, and particularly Friday and Saturday nights where certain businesses are not following permit requirements. The discussion centered around decibel levels, which will be determined going forward and incorporated into a new Local Law once the levels have been established.
- Highway Department:
 - Lot maintenance and routine maintenance of Main St.
 - Routine garbage pickup in parks and dog stations
 - Ongoing storm prep/planning and debris removal

- DPW Garage renovations substantially completed, punch list items only.
- Stumps are located at 90 Conklin St., 250 Conklin St. (Citibank), Clinton Ave.
- The PO has been issued to Westar for the new DPW garage, waiting for working plans and foundation drawings. Preliminary site work, including retaining wall, will be done by Roadwork Ahead.
- Prepping for Movies and Pop Concerts.
- Comments from Foreman Ken Tortoso: List of DPW job assignments for the week of 7/18:
- Due to the lack of rain and high temps, the watering unit is out every morning. We are also including the medians on Rte. 109 for watering also. Main St. and the parking lot flowers are looking amazing!
- The Patcher truck, aka the "black top truck" caught fire at the DPW yard. Employee Pat Tortoso was able to extinguish it quickly. The hydraulic pump failed which caused the fluid to overheat and catch fire. The truck was saved with very, very minor damage. The truck is currently at Dependable Hydraulics in Amityville getting a new pump. Should be back in service next week.
- Capital truck #2 is also going next week to Dependable Hydraulics for a PTO issue.
- DPW has been out trimming trees.
- DPW has been doing a great job setting up for the weekly movie nights, Village Pops and Music on Main.
- DPW will be installing the rest of the benches at 5 Corners Park next week.
- Stapleton Tree Service will be in on August 1 for stump grinding.
- Heads Up Sprinklers, in conjunction with John Iaboni, found a blown GFI outlet for the sprinklers timing unit in Lot #2, DPW has been moving around hanging baskets.
- New crosswalk signs have been put out on Main St.
- TOB Lighting Dept. has been in the Village repairing street lights. If you see any lights out please let me know.
- Water Department:

- Water tower construction continues. The tank is now complete. Interior work is underway for the ceiling that will protect the booster pumps. Insulation will be added to the walls of the booster pump room along with covering.
- Discussion about wireless services move from existing tank to temporary pole is desired, including NCPD microwave.
- \$3,000,000 has been awarded to the Village in Gov. Hochul's budget for Improvements WIIA grant. Documents have been signed and submitted to the state to receive funding.
- New gas line arranged with National Grid
- Mayor Ekstrand requested a review of the number of cell providers that can be placed on the new water tank.
- Grant Avenue driveway apron needs to be replaced, Roadwork Ahead has this on their repair list.
- New doors and hatch approved for all well locations and are in the process of being installed.
- Mayor Ekstrand, Administrator Harty and Water Superintendent Geary Gerhardt met with Paul Grainger at Hicksville Water to look at 1,4 dioxane treatment installation.
- Meeting scheduled with PWGC to review pollution control measures and approach to solutions. PWGC recommends pre-construction purchase of equipment. WIIA grant money to be used for the purchase of Advanced Oxydation Process and Granulated Activated Carbon Equipment, Peroxide Tank and Computer Interfaces.
- Mayor Ekstrand and Administrator Harty reported on the recent meeting with PWGC and stated that pre-purchasing of pollution control equipment was recommended. Mayor Ekstrand and Administrator Harty had visited Hicksville Water District – they have already installed and are operating the equipment that can be used by Farmingdale to treat for the 1,4 dioxane contaminant.
- Code Department:
 - Working until 10:00 p.m. on Thursday, Friday and Saturday.

- Corner of Staples Street and Secatogue Avenue: Resident requests traffic light. The Board agreed to place a STOP AHEAD sign south of the corner so that motorists can clearly see that a stop sign is just ahead.
- Other:
 - Trustee Parisi reported that Candy's Jewelers is purchasing a bench in honor of her father and would like the bench placed inside Moby Way on the northwest corner – the Board concurred.
 - Walter Brem is retiring from the Farmingdale Youth Council, The Board will have three representatives at his retirement celebration.

EXECUTIVE SESSION, upon a motion made by Trustee Priestley and seconded by Trustee Rosasco, it was unanimously,

RESOLVED (#2023-07-13), to move to Executive Session.

Upon a motion made by Trustee Parisi and seconded by Trustee Rosasco, it was unanimously,

RESOLVED (#2023-07-14), to reconvene the meeting.

CODE OFFICER OVERTIME – Upon a motion made by Trustee Parisi and seconded by Deputy Mayor Barrett, it was unanimously,

RESOLVED (**#2023-07-15**), to pay time and one half to code officers during Music on Main from 5:00 p.m. until completion, retroactive to the first Music on Main in 2022.

SALARY ADJUSTMENT – Upon a motion made by Trustee Parisi and seconded by Trustee Priestley, it was unanimously,

RESOLVED (#2023-07-16), to reduce Justice Anthony Addeo's salary by \$3,000 and to increase Justice Thomas Dell Aquila's salary by \$3,000 at the request of Justice Addeo.

PARKING LOT 9 EXPANSION – Upon a motion made by Trustee Priestley and seconded by Deputy Mayor Barrett, it was unanimously,

RESOLVED (**#2023-07-17**), to approve the expansion of Parking Lot 9 by twenty spaces at a total cost of \$57,000. Funding for this expansion will come from Incentive Bonus Monies received.

There being no further business, the meeting was adjourned at 10:00 p.m.

Respectfully submitted,

Brian P. Harty, Village Clerk-Treasurer



Village Clerk Incorporated Village of Farmingdale 361 Main Street Farmingdale, New York 11735

G'day Honorable Major of the Village of Farmingdale,

On Saturday September 3rd, 2022, we would like to hold the 17th annual Runner's Edge Main Street Mile running event in the Inc. Village of Farmingdale to benefit the Companions in Courage Foundation, which was founded by former New York Islander and Hockey Hall of Famer Pat LaFontaine.

The event is anticipated to attract approximately 500 runners. The course will start adjacent to the Powell Cemetery and end on Main Street near Village Hall. The first heat is scheduled to run at 9:15 AM with the running event closing at approximately 10:30 AM. We would need the course to be closed and available by 7:00 AM for setup, and so we can also do the kids 1⁄4 mile run, which starts at 8:30 AM. We will be glad to complete any forms necessary to secure the necessary permissions and have the village listed as an additional insured party on our comprehensive liability policy. We will also be sure to do everything possible to ensure that the area is "litter free" when the runners leave it.

We will continue to reach out to the Chamber of Commerce and the local businesses to make this a community event. We hope that by bringing this event to the Village of Farmingdale we can raise awareness and community support for a great cause that benefits children and their families in the time of need.

Thank you in advance for your anticipated cooperation. We look forward to hearing from you at your earliest convenience. If you have any questions, feel free to call me at 516-234-9395.

Sincerely,

Corey Roberts Race Directors – Main Street Mile



Runner's Edge Main Street Mile Starts by the Powell Cemetery Finishes Main Street near Village Hall 516-234-9395 RaceAwesome@RaceAwesome.com www.RunnersEdgeMainStreetMile.com

COURSE DESCRIPTION:- 1 MILE Race and Kids ¼ Mile Furn Run (SEE MAP) **DATE:-** Saturday, September 3rd, 2022

RACE DIRECTOR:-Corey Roberts Race Director Corey@RaceAwesome.com Home:- 516-442-0117 Cell:- 516-234-9395

EVENT SCHEDULE

FRIDAY BEFORE RACE WEEKEND

• 1:00 p.m. - 5:00 p.m. Packet Pickup, Runner's Edge

SATURDAY RACE WEEKEND

- 7 a.m. Packet Pickup 7:00am 8:30am, Runner's Edge
- 8:30 a.m. Kids Quarter Mile Run
- 9:15 a.m. Women's 1 Mile Race
- 9:40 a.m. Men's 1 Mile Race
- 10:15 a.m. Race Awards

INCIDENT ACTION PLAN

The purpose of this Incident Action Plan (IAP) is to identify and mitigate any potential risks associated with the planning, implementation and successful completion of the above-referenced event. The parties that are planning and coordinating this event are committed to ensuring that all participants, sponsors, community members, and emergency personnel are able to partake in the event in a safe and organized manner. The procedural information contained herein will be strictly adhered to.

Title of Event: Runner's Edge Main Street Mile.

Date of Event: Saturday, September 3rd, 2022 Location: Main Street, Farmingdale Village

Company: Race Awesome

Name: Stacy Roberts President/CEO Phone Number: Cell: 516-442-0117 Email Address: Stacy@RaceAwesome.com



Runner's Edge Main Street Mile Starts by the Powell Cemetery Finishes Main Street near Village Hall 516-234-9395 RaceAwesome@RaceAwesome.com www.RunnersEdgeMainStreetMile.com

On Site Race & Staff Coordinator

Name: Corey Roberts Race Director Phone Number: Cell: 516-234-9395 Email: Corey@RaceAwesome.com

Medical Emergencies Procedure

All medical emergencies will be reported to the Command Post by use of Radios, cell phones or by verbal means. The Event Coordinator will call directly to the Command Post and report the incident/ problem. The nearest hospital is St Joseph Hospital in Plainview. The event coordinator will make sure an area is open to allow EMS personnel, vehicles and equipment access to the event grounds wherever emergency assistance is needed.

Police Emergencies Procedure

For all police emergencies, Notification to the command or to Police:- 911

Lost Child Procedure

The police will be notified. In the event of a lost child, he/she should be taken to the Command Post. The child, if able, will be asked to provide parent/guardian information. Lost child announcements will be made from Stage, informing the crowd of the situation. The child will remain under the supervision of the Command Post who will ensure the child is comfortable and safe until his/her parent/guardian arrives. Police should be present to check the identification of adults claiming to be the parent/guardian before release.

Communication Plan

We will be using cell phones and 2-way radios. Staff will be issued with emergency cards with VIP Staff Contacts/Phone numbers

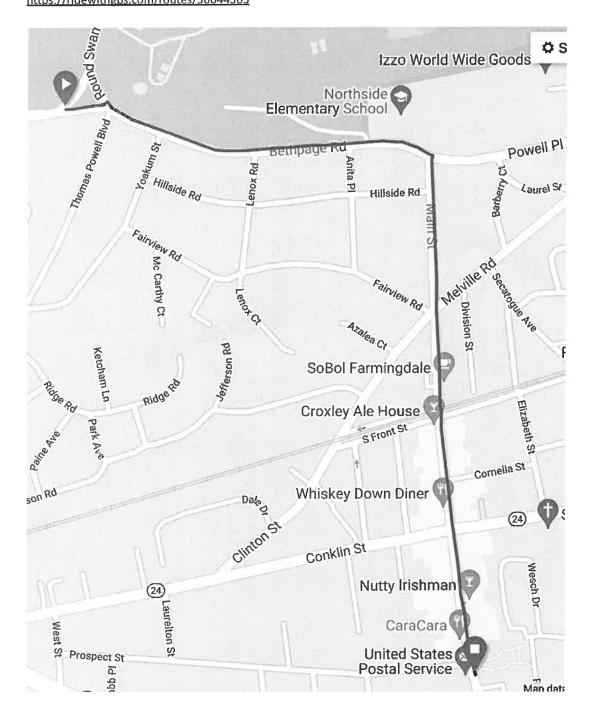
Emergency Medical Services (Ambulance Corps): Farmingdale Village Fire/EMS

RUNNER'S EDGE MAIN STREET MILE DENEFITING COMPANIONS IN COURAGE

Runner's Edge Main Street Mile Starts by the Powell Cemetery Finishes Main Street near Village Hall 516-234-9395 RaceAwesome@RaceAwesome.com

www.RunnersEdgeMainStreetMile.com

1 MILE COURSE:https://ridewithgps.com/routes/36644303



SCOTTSTONE

PAGE 01/03

LAW OFFICES OF SCOTT STONE PLLC

SCOTT STONE*

VERONICA SYMPSON KRENDEL* OF COUNSEL

* MEMBER NY, CT & DC BARS ** MEMBER NY & CT BARS 340 ATLANTIC AVENUE EAST ROCKAWAY, NEW YORK 11518 (516) 593-0202 (718) 855-5044 Fax (516) 593-0297 E-Mail: sottonelaw95@gmail.com E-Mail: sottone@scottstonelaw.com Website: www.acottstonelaw.com

AMENDED MEMORANDUM

Date: July 25, 2022

To: Brian Harty, Village Administrator Claudio DeBellis, Village Attorney

Fax (516) 249-0355

From: Scott Stone, Esq. Tax Certiorari Counsel to the Incorporated Village of Farmingdale

Re: G. J. M. E. LLC v. Assessor, Village of Farmingdale Section 49, Block D, Lots 51, 274, 403 45 Conklin St. (next to Guerrio + Guerrio LLP)

On May 24, 2022, a conference was held with Jack Rubinstein, Esq. of Meyer Suozzi, English & Klein, P. C. attorneys for petitioner G. J. M. E. LLC to negotiate the issues regarding all pending tax certiorari matters against the Incorporated Village of Farmingdale. The pending tax years are 2012/13 through and including 2022/23.

The property is a 2438 square foot converted residence used for office and warehouse space located at 45 Connklin Street

The village assessments for the pending tax years are as follows:

\$593,500 for tax year 2012/13, equalizing to a market value of \$593,500 \$593,500 for tax year 2013/14, equalizing to a market value of \$593,500 \$593,500 for tax year 2014/15. equalizing to a market value of \$593,500 \$593,500 for tax year 2015/16, equalizing to a market value of \$593,500 \$653,000 for tax year 2016/17, equalizing to a market value of \$653,000 \$653,000 for tax year 2017/18, equalizing to a market value of \$653,000 \$698,700 for tax year 2018/19, equalizing to a market value of \$653,000 \$698,700 for tax year 2018/19, equalizing to a market value of \$658,700 \$719,700 for tax year 2019/20, equalizing to a market value of \$719,700 \$719,700 for tax year 2019/21, equalizing to a market value of \$719,700 \$806,000 for tax year 2021/22, equalizing to a market value of \$806,000 \$806,000 for tax year 2022/23, equalizing to a market value of \$806,000 LISA MILLER Office manager

KAITLYN GUTMANN PARALEGAL

108 FOREST AVENUE LOCURT VALLEY, NEW YORK 11560 BY APPOINTMENT ONLY

Page 2

Because there was no prior settlement with Nassau County, a valuation work-up was prepared applying an income capitalization approach.

At the conference, the Petitioner made demands reducing the assessments to the following market values:

2012/13	\$400,000		
2013/14	\$400,000	2018/19	\$400,000
2014/15	\$400,000	2019/20	\$400,000
2015/16	\$400,000	2020/21	\$400,000
2016/17	\$400,000	2021/22	\$400,000
2017/18	\$400,000	2022/23	\$400,000

Applying these demands, the Petitioner made demands at the conference resulting in an indicated refund of approximately <u>\$15,300</u> for all tax years and would result in a reduction of the village assessment from \$806,000 to \$450,000 for the last pending tax year.

After reviewing the financials and comparable rentals, and after negotiations with Petitioner's attorney, I have been able to settle this case subject to the Village Board approval as follows:

1. A cash refund for all pending tax years, including 2020/23, in the amount of \$13,700.

A reduction in the 2022/23 final assessed value to \$450,000, which equates to a taxable value of \$450,000. If the assessment remains at the reduced value for tax years 2023/24 - 2025/26, the Petitioner cannot file any further Article 7 proceedings in accordance with the provisions of \$727 of the New York State Real Property Tax Law.

Please confirm that all village taxes have been paid for all tax years under review.

In reviewing this settlement, it is my legal opinion that this is a good and equitable settlement for the Incorporated Village of Farmingdale. I would therefore recommend this settlement to the Village Board.

I would appreciate your presenting this proposed settlement to the Village Board so that we may bring this matter to a final conclusion.

Please notify me in writing as to the decision of the Village Board so that I may take the necessary steps to proceed accordingly.

Page 3

If you have any questions, please contact me.

Very truly yours.

Scott Stone Tax Certiorari Counsel to the Incorporated Village of Farmingdale

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BUILDING DEPARTMENT

TO: Board of Trustees

The following building permit applications have been reviewed by this department and it has been determined that they comply with all zoning and building codes:

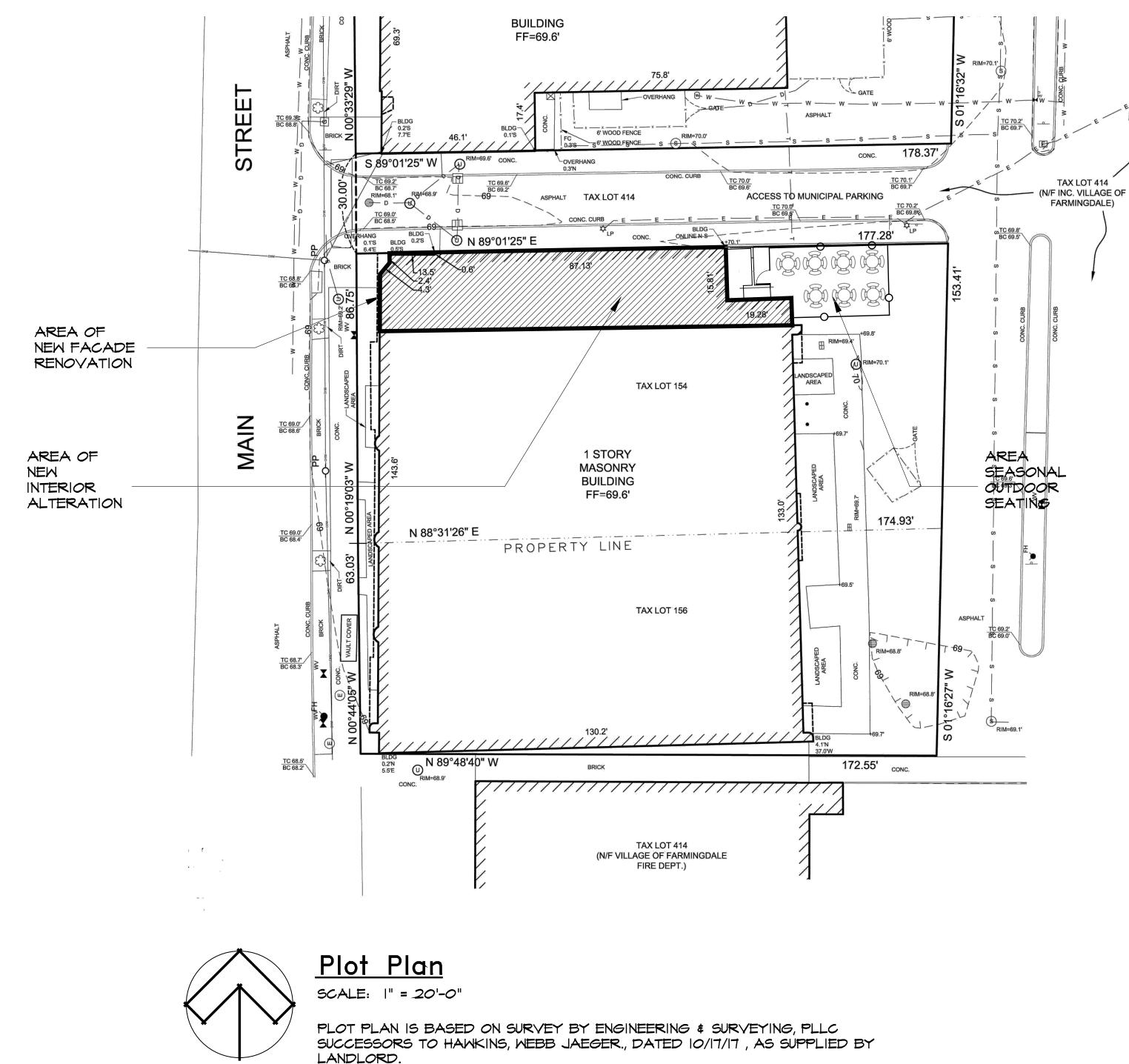
DATE	LOCATION CON	STRUCTION/COMMENTS	ARB	C/R
7/8/2022	22 Sullivan Rd. Robert Schumacher DB22-00068	Maintain detached garage as per drawings by Grubah Design dated 5/14/2022	N/A	R
7/8/2022	42 Oakview Ave Ken Sobel SW22-00009	Replace sidewalk	N/A	R
7/11/2022	18 Cooper St. Sunation Solar System DB22-00069	Install 43 roof mounted solar panels as per drawings submitted by Sunation Energy.	N/A	R
7/11/2022	124 Prospect St. Chris Maro PP22-00027	Install gas fired pool heater	N/A	R
7/11/2022	37 Weiden St John & Hope Berardi DB22-00070	Install 34 roof mounted solar panels as per drawings submitted by Sunroom Installation Services.	N/A	R
7/11/2022	11 Jerome Dr. Sean & Susan Hutchison DB22-00071	Renovate three existing bathrooms as per drawings submitted by Alure Contracting	N/A	R
7/11/2022	41 William St. Almas Diwan FP22-00016	6' vinyl fence	N/A	R
7/13/2022	332 Fulton St. Jordan Desner PP22-00028	Sprinkler flow test	N/A	С
7/13/2022	10 Linwood Ave National Grid RO22-00006	One 4 x 4 bellhole to install gas service	N/A	R
7/18/2022	232 Van Cott Ave Andrew Martin DB22-00072	Install 18 roof mounted solar panels as per drawings by N.Y State Solar dated 6/14/22.	N/A	R
7/18/2022	27 Harrison Pl Stephen Durando PP22-00029	Replace existing oil burner	N/A	R
7/19/2022	202 Main St Chris Werle DB22-00074	Construct new two story restaurant with seating for 12 as per drawings submitted by Luigi Gileno Architect dated 12/30/21.	N/A	С
7/19/2022	5 Paine Ave Christine Hopper DB22-00075	Install new front porch as per drawings submitted by Brian Fiore Architect dated 3/11/22	N/A	R
7/20/2022	9 Toretta La Sunil Shah FP22-00017	6' white PVC fence along east side of property	N/A	R
7/20/2022	39 Merokee Pl	6' PVC fence and 5' chainlink gate	N/A	R

	Jean Finnerty FP22-00018			
7/20/2022	23 Maple St. Northeast Scott Gonyon FP22-00019	6' PVC fence	N/A	R
7/20/2022	134 William St Edward Giraldo DB22-00073	Install 13 roof mounted solar panels as per drawings submitted by Momentum Solar dated 7/22/22.	N/A	R
7/22/2022	306 Main St. The Villager SP22-00008	As per ARB approved 6/28/2022.	X	С
7/22/2022	503 Conklin St. Valle Signs & Awnings SP22-00009	As per ARB approval 6/28/2022.	X	С
7/22/2022	107 William St. Sharda Pinnock- Robinson DB22-00076	Install 27 roof mounted solar panels as per drawings submitted by Sunrun dated 4/21/22	N/A	R
7/22/2022	26 Puritan Lane Leonardo Saulle DB22-00077	Install 41 roof mounted solar panels as per drawings submitted by Sunrun	Х	R

Proposed Interior Alterations / Facade Renovation

Dalers Pizza Parlor Dine in / Take -out Restaurant

331 Main Street Farmingdale, NY



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Drawing Index

Title Sheet, Plot Plan General Notes

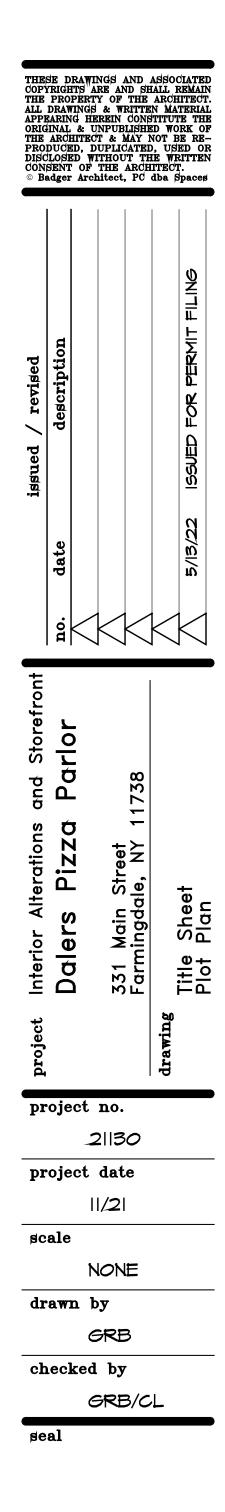
- Construction Plan, Door Schedule, Partition Types Outdoor Seasonal Seating Plan Equipment Plan and Equipment Schedule Existing Basement Plan and New Exterior Entry Details Reflected Ceiling Plan Roof Framing Plan, Structural and Roof Details **Building Elevations and Wall Finish Details Building Elevation Renderings**
- Accessibility Notes and Requirements Accessibility Details

Mechanical Plan, Equipment Specifications, Manuals N,J &S

- Plumbing Notes, Specifications and Fixture Schedule Electrical Power Plan, Equipment Connection Schedule Electrical Basement Power and Lighting Plan Electrical Lighting Plan, Fixture Schedule
- Plumbing Notes, Specifications and Fixture Schedule Plumbing Sanitary Plan
- Plumbing Existing Basement Sanitary Plan
- Plumbing Basement Domestic Water, Venting and Gas Plan
- Plumbing Domestic Water, Venting and Gas Plan
- Plumbing Riser Diagrams

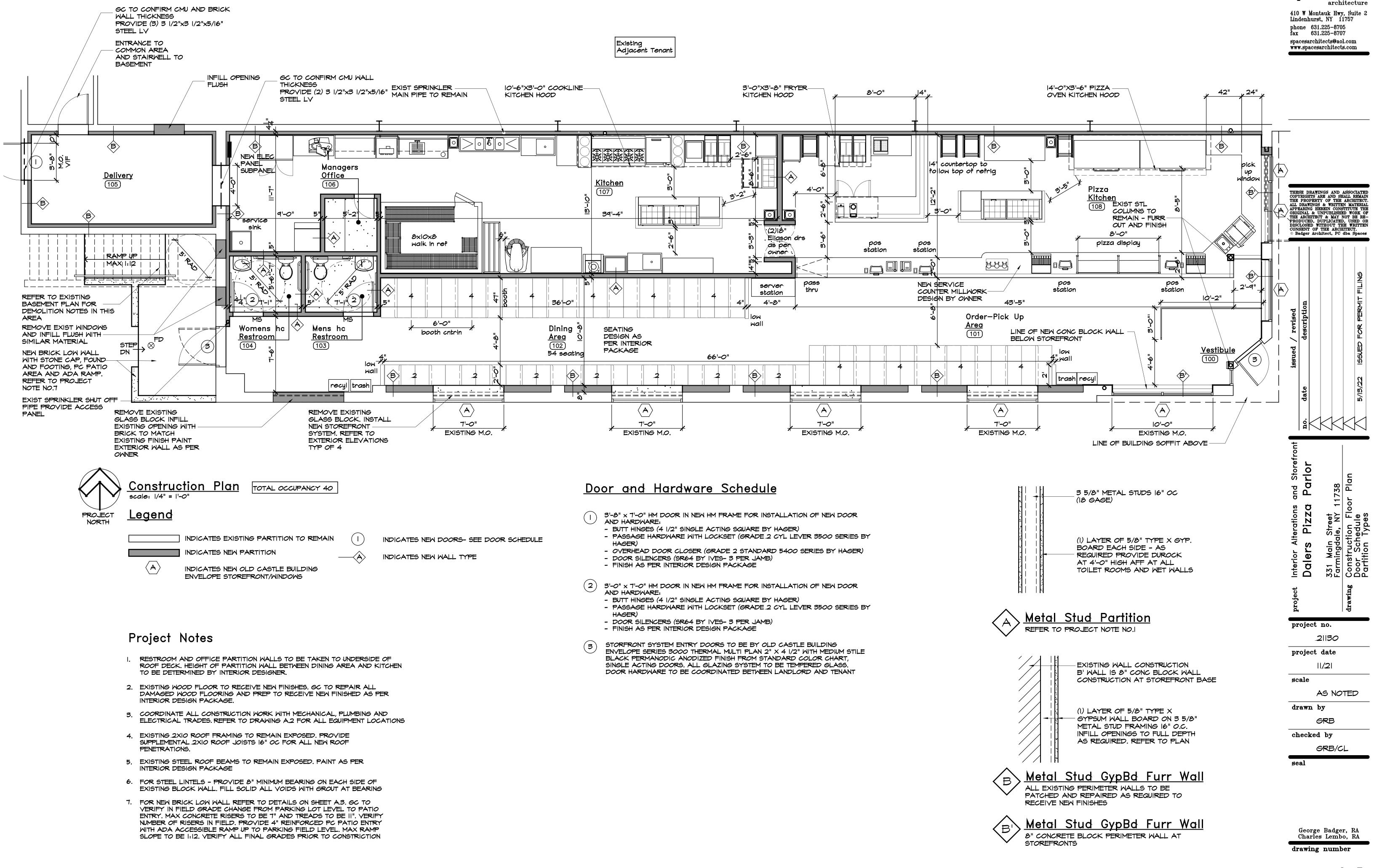
<u>Spaces</u> architecture 410 W Montauk Hwy, Suite 2 ndenhurst, NY 11757

hone 631.225-8705 631.225-8707 spacesarchitects@aol.com www.spacesarchitects.com



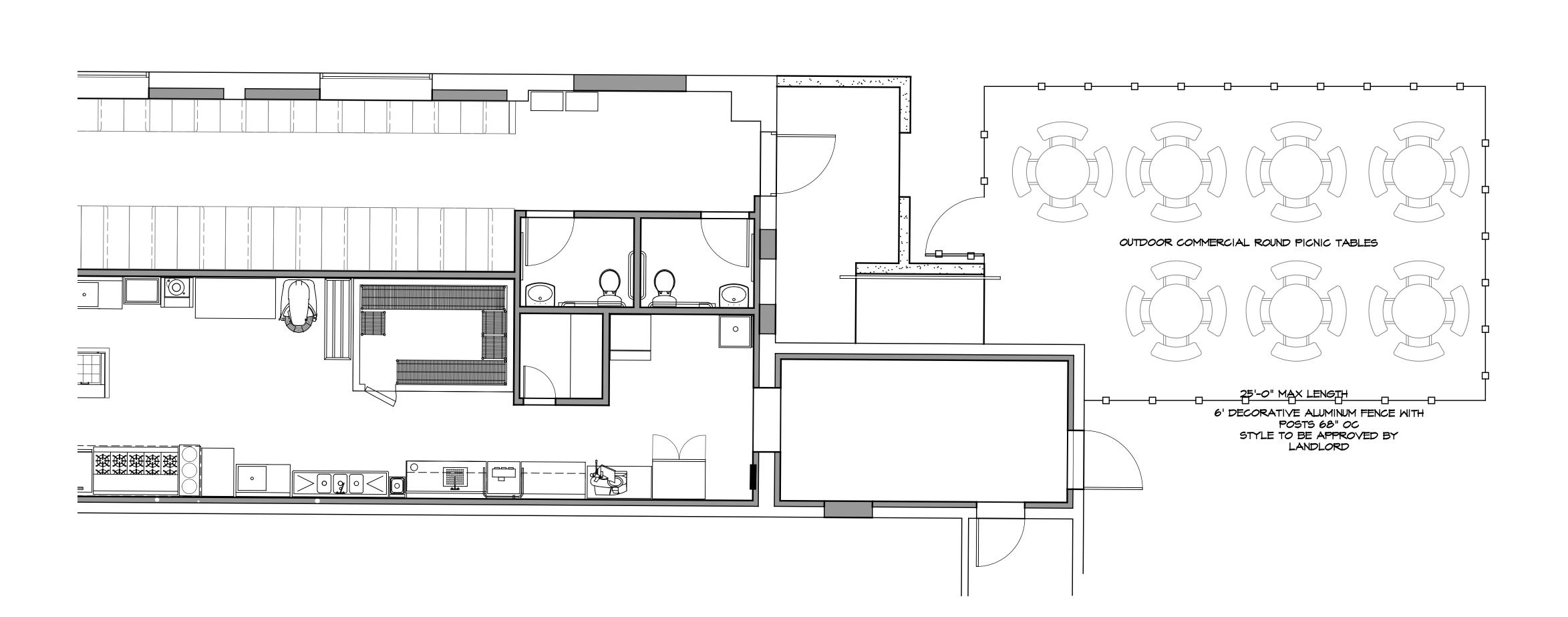
George Badger, RA Charles Lembo, RA

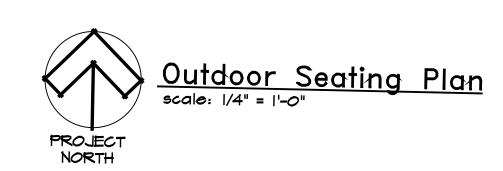
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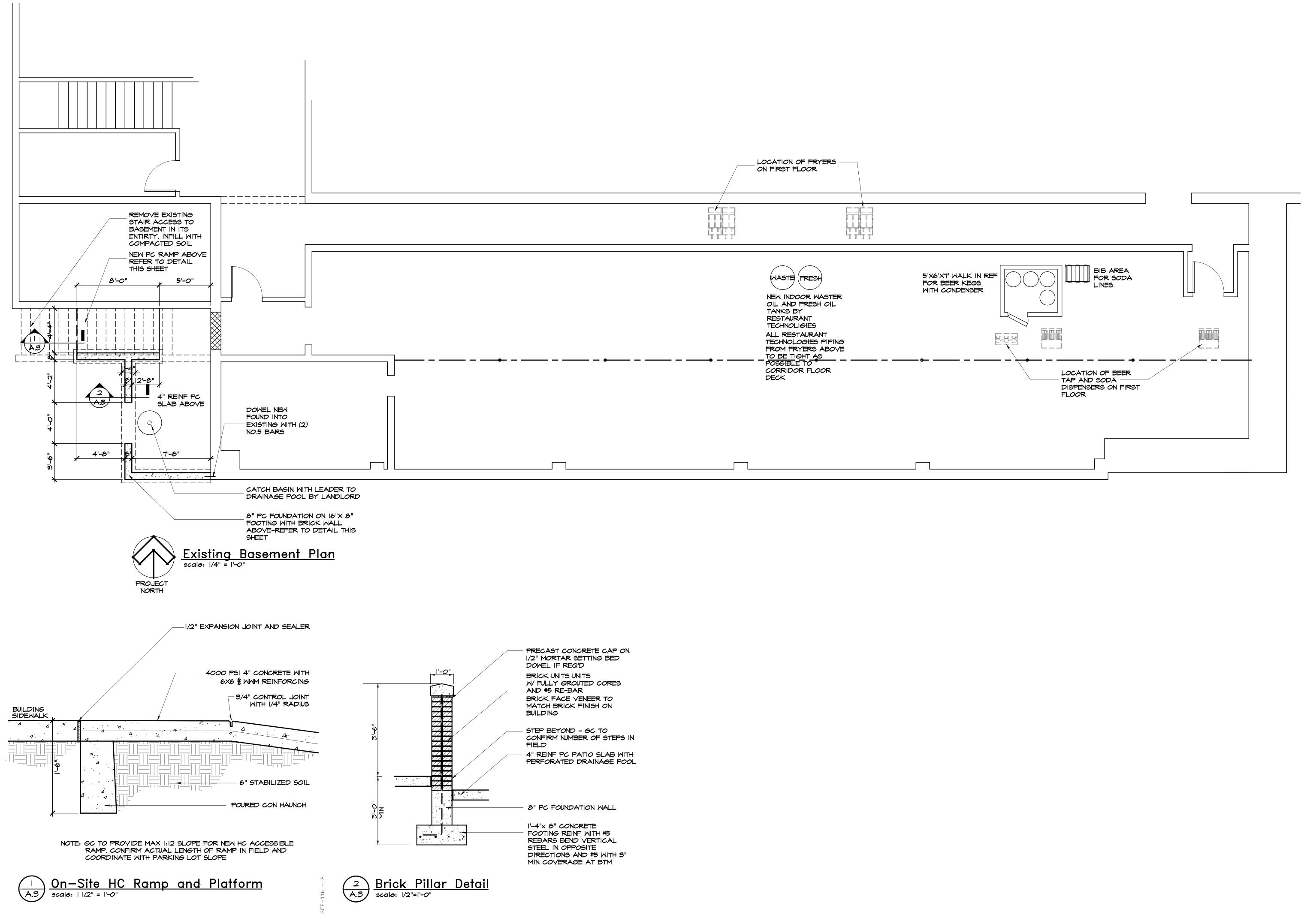


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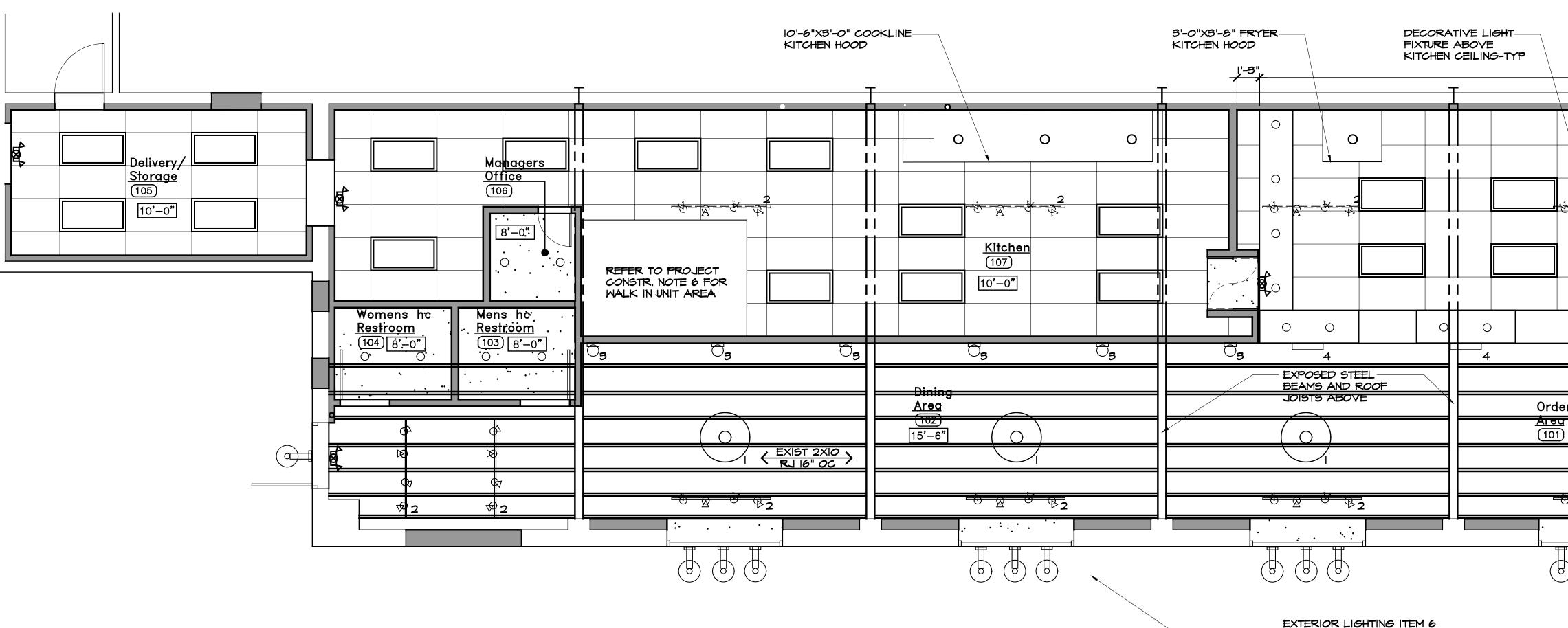
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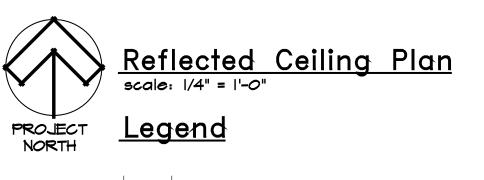
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George Badger, RA Charles Lembo, RA

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<u>A.3</u>







LAY-IN CEILING GRID



GYPSUM BD CEILING





ILLUMINATED EXIT SIGNAGE/ EMERGENCY EXIT LIGHTING COMBO 2X4 RECESSED LED LIGHT FIXTURE



0

DECORATIVE LIGHT FIXTURE REFER TO INTERIOR DESIGN

RECESSED HI HATS

PACKAGE

CONTRACTOR IS RESPONSIBLE TO CONFIRM AND OBTAIN ALL APPROVALS WITH NASSAU COUNTY FIRE MARSHALL AND VILLAGE OF FARMINGDALE ALL REQUIREMENTS FOR A AUGMENTATION OF THE EXISTING FIRE ALARM/CARBON MONOXIDE ALARM SYSTEM FOR THE NEW SPACE AS PER 915 OF THE 2020 NYS FC BY TENANT

- 2. FIRE ALARM SYSTEM TO BE INTELLIGENT DEVICE ADDRESSABLE, ANALOG DETECTING, LOW VOLTAGE AND MODULAR WITH MULTIPLEX COMMUNICATION TECHNIQUES IN FULL COMPLIANCE WITH ALL APPLICABLE CODES AND STANDARDS.
- 3. THE SYSTEM SHALL BE INSTALLED, TESTED AND DELIVERED TO THE OWNER IN FIRST CLASS CONDITION. THE SYSTEM SHALL INCLUDE ALL REQUIRED HARDWARE, RACEWAYS, INTERCONNECTING WIRING AND SOFTWARE.
- 4. ALL EQUIPMENT FURNISHED SHALL BE NEW AND THE LATEST STATE OF THE ART PRODUCTS OF A SINGLE MANUFACTURER, ENGAGED IN THE MANUFACTURING AND SALE OF ANALOG FIRE DETECTION DEVICES FOR OVER TEN (10) YEARS.
- 5. CONTRACTOR SHALL PROVIDE A FULLY COMPLIANT SET OF SHOP DRAWINGS TO BE USED FOR PRICING, CONSTRUCTION AND APPROVAL.
- 6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS.

Sprinkler System Note

Existing Adjacent Tenant

> AS PER INTERIOR DESIGN PACKAGE, BY LL

Fire Alarm Notes

I. FURNISH AND INSTALL A NEW YORK STATE COMPLIANT FIRE ALARM SYSTEM AS PER 915 OF THE 2020 NYS FC.

AUGMENTATION OF EXISTING SPRINKLER SYSTEM IS TO BE DESIGNED AND INSTALLED AS "DESIGN- BUILD" IN FIELD BY TENANT. SPRINKLER CONTRACTOR IS TO PREPARE AND SUBMIT DRAWINGS INDICATING THE REQUIRED CHANGES TO THE EXISTING SYSTEM AS REQUIRED. DRAWINGS ARE TO BE PREPARED AND SUBMITTED TO THE VILLAGE OF FARMINGDALE AND THE NASSAU COUNTY FIRE MARSHAL AND ANY OTHER APPLICABLE AGENCIES HAVING JURISDICTION. APPROVAL MUST BE ACQUIRED PRIOR TO COMMENCEMENT OF ANY SPRINKLER WORK.

Project Construction Notes

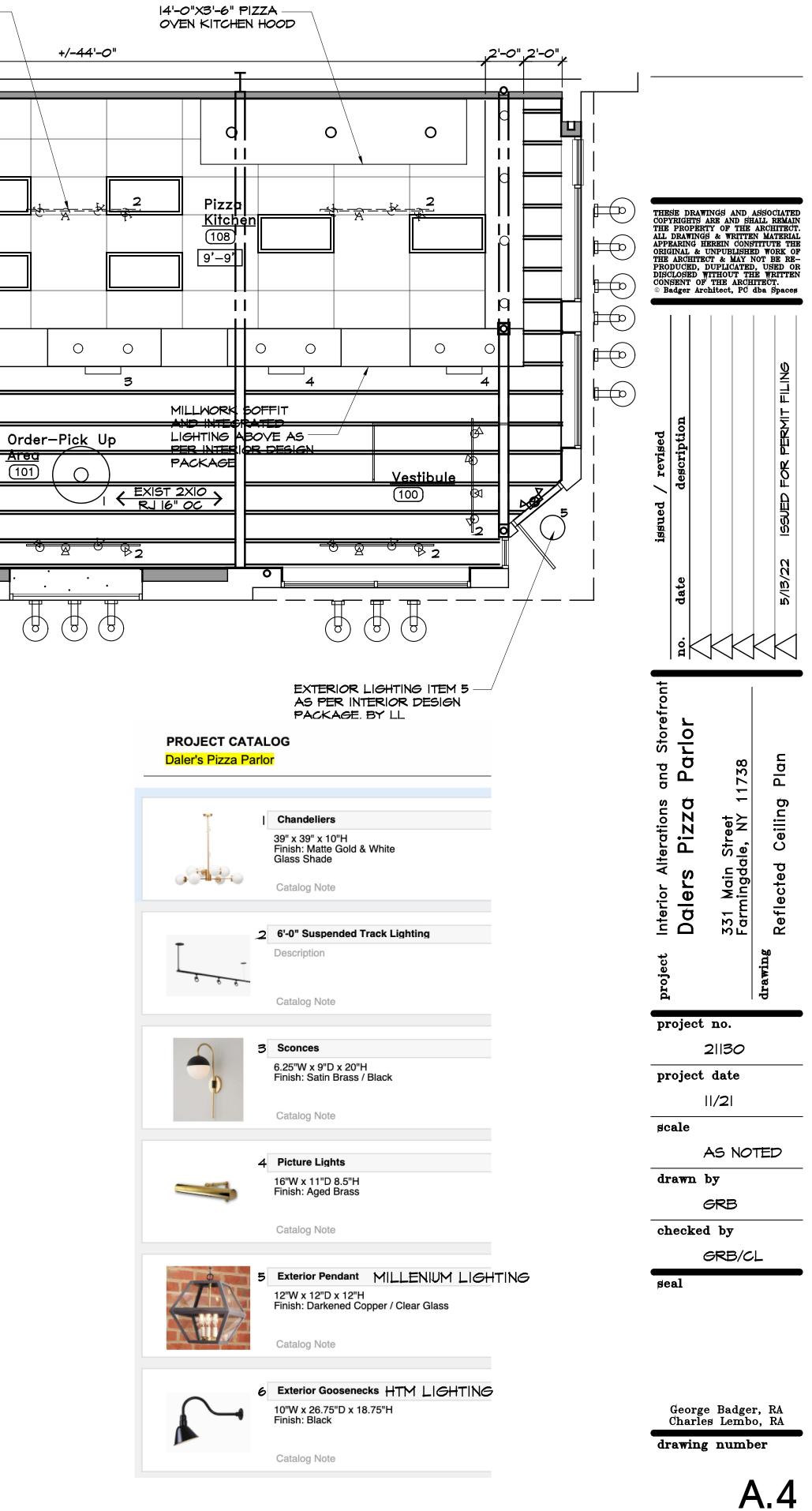
- I. ENTIRE INTERIOR TO HAVE EXPOSED STRUCTURE ABOVE. EXISTING UNDERSIDE OF ROOF DECK AND ALL STRUCTURE TO BE PAINTED AS PER INTERIOR DESIGN PACKAGE.
- 2. 2X4 CEILING TILE AND CEILING SPLINE SYSTEM BY ARMSTRONG CLEAN ROOM VL PERFORATED TILES WITH 15/16" PRELUDE EXPOSED TEE GRID (WHITE) ROOMS 105, 107 \$ 108
- 3. PROVIDE METAL STUD FRAMING AND 5/8" TYPE X GYP BD CEILING FOR RESTROOMS AND OFFICE
- 4. GENERAL CONTRACTOR TO PAINT ALL EXPOSED ROOF DRAIN PIPING AND DUCTWORK FLAT BLACK TO MATCH CEILING
- 5. GENERAL CONTRACTOR TO COORDINATE ALL CEILING WORK WITH ALL TRADES
- 6. WALK-IN REFRIGERATOR NOTES: -NO CEILING ABOVE WALK-IN COOLER
- -CONFIRM COOLER HEIGHT WITH OWNER-ROOF MOUNTED REMOTE COMPRESSOR UNITS ARE REQUIRED
- -VERIFY THAT CEILING AREA ABOVE IS CLEAR OF DUCTS, BEAMS, STRUCTURE, ETC. UNDERSIDE OF EXISTING ROOF STRUCTURE IS 15'-6" AFF ROOF JOIST AND 14'-2" STEEL BEAMS / 16'-6"" TO
- UNDERSIDE OF ROOF DECK. -PROVIDE ADEQUATE VENTILATION PER MANUFACTURER SUGGESTED SPECIFICATION.

Decorative Lighting Note

ALL DECORATIVE LIGHTING TO BE COORDINATED BETWEEN OWNER AND INTERIOR DESIGNER. FINAL FIXTURE, SPACING, MOUNTING HEIGHTS, ETC AS PER INTERIOR DESIGN PACKAGE. CONTRACTOR TO COORDINATE ALL REQUIRED OUTLETS, JUNCTION BOXES, LIGHT SWITCHES, DIMMER CONTROLS, ETC WITH FINAL PLACEMENT OF FIXTURES. COORDINATE LIGHTING LOCATIONS WITH EXPOSED HVAC DUCTWORK

<u>Spaces</u>

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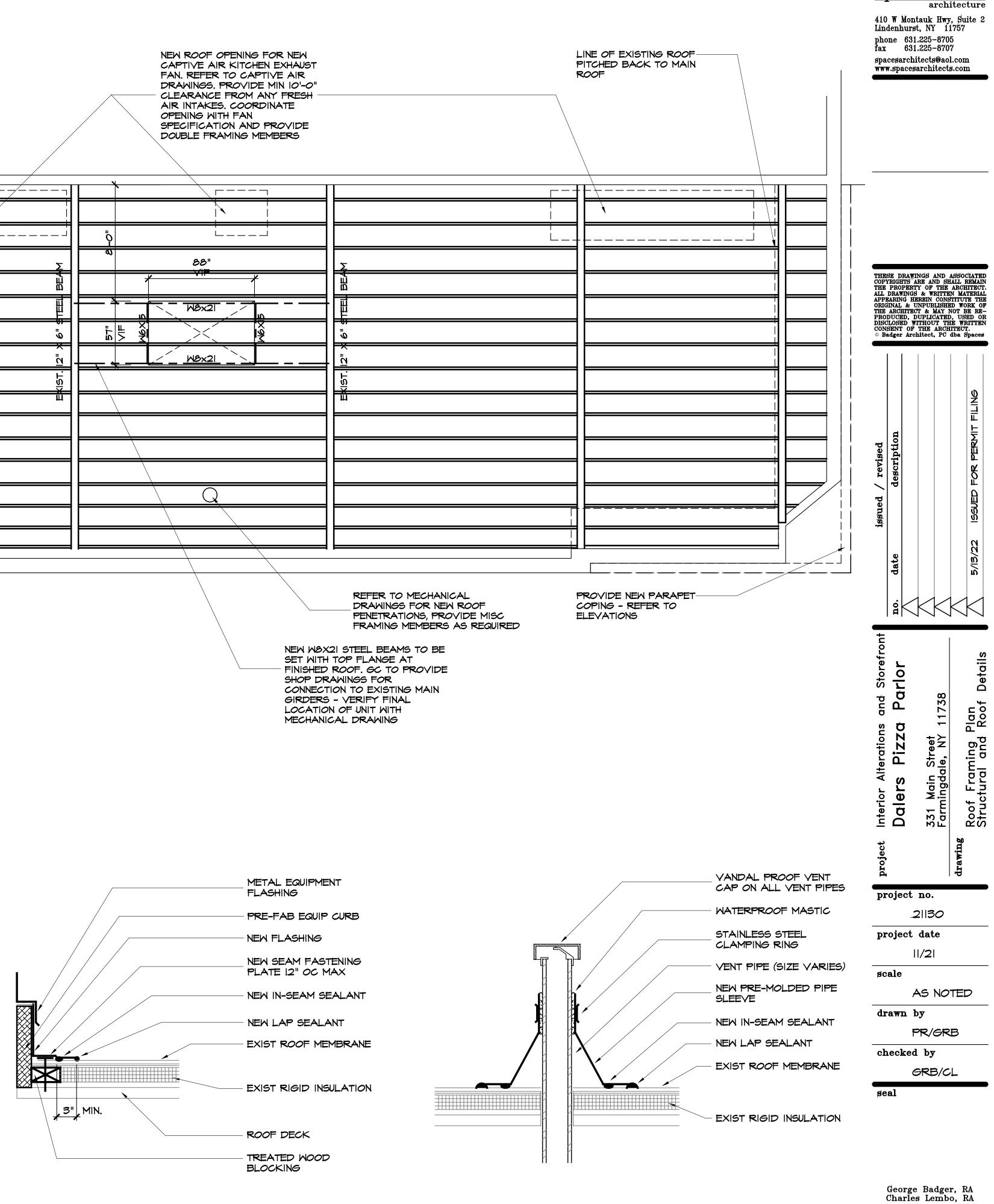


Roof Framing Plan scale: 1/4" = 1'-0"

TENANTS ROOFING CONTRACTOR MUST USE LANDLORDS ROOFING CONTRACTOR, ALL SEASONS ROOFING (516) 333-5660, FOR ALL NEW ROOF PENETRATIONS, ROOFING CURBS, ETC.

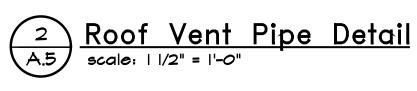
	Existing Adjacent Tenant	NEW ROOF OPENING FOR NEW CAPTIVE AIR KITCHEN EXHAUST FAN. REFER TO CAPTIVE AIR DRAWINGS. PROVIDE MIN 10'-0" CLEARANCE FROM ANY FRESH AIR INTAKES. COORDINATE OPENING WITH FAN SPECIFICATION AND PROVIDE DOUBLE FRAMING MEMBERS	
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- EXISTING PARAPET COPING TO REMAIN





A.5 <u>Roof Curb Flashing Detail</u> scale: | 1/2" = 1'-0"



drawing number

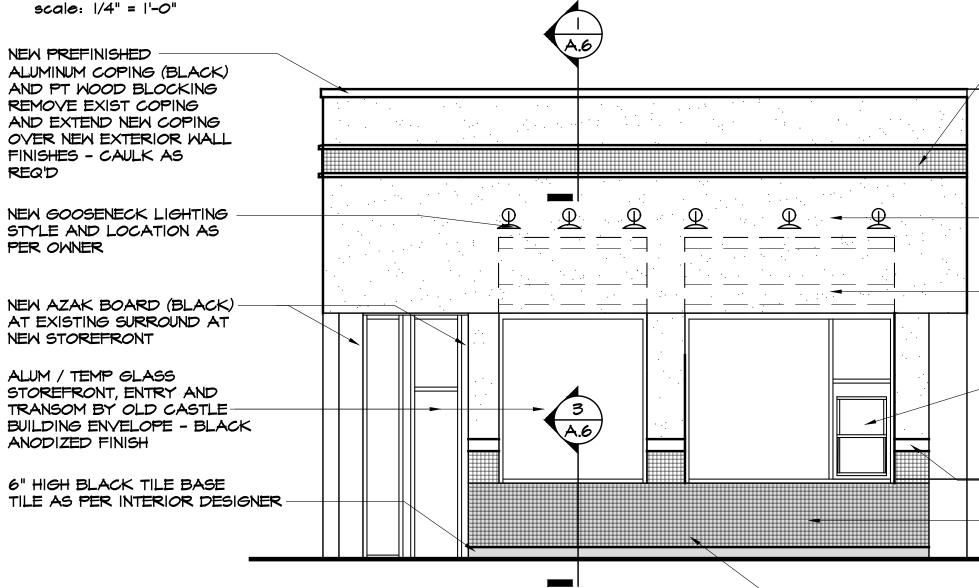
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A.5

	EXISTING COPING TO REMAIN		BE PAINTED BEHR #S-H-ITO RED BRICK FLAT EXTERIOR PAINT	
	SHADED AREA INDICATED NEW BRICK/CMU WALL INFILL TO MATCH EXISTING	PLANTER BOXES AND SHUTTERS AS PER INTERIOR DESIGNER SPEC. SECURE TO EXISTING BRICK WALL AS PER MANUF	AWNINGS AS PER TENANT. SECURE TO EXISTING BRICK WALL AS PER MANUF	

= N

Left Side Elevation



Main Street Front Elevation scale: 1/4" = 1'-0"

REMOVE EXISTING METAL COPING CAP AND PROVIDE NEW BLOCKING AND PREFINISHED (BLACK) AMUNIMUM COPING OVER NEW EXTERIOR FINISH

REMOVE ALL STUCCO FINISH AND SUBSTRATE FRAMING

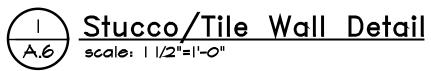
NEW | 1/2" METAL FURRING STRIPS, 16"OC SECURE TO NEW SUBSTRATE MATERIAL

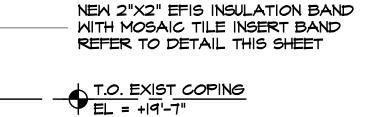
NEW ONE LAYER 5/8" DUROROCK DIRECT APPLIED STUCCO FINISH

PAINTED BEHR #MS-84 FRENCH GREY FLAT

2"X2" DECORATIVE BAND INSULATION SHAPES WITH BASE STUCCO COAT, REINF MESH AND FINISH COAT - ANGLE TOP FOR DRAINAGE

MOSAIC TILE FINISH SECURE AS PER MANUF ADHESIVE BACKING







AWNINGS BY TENANT

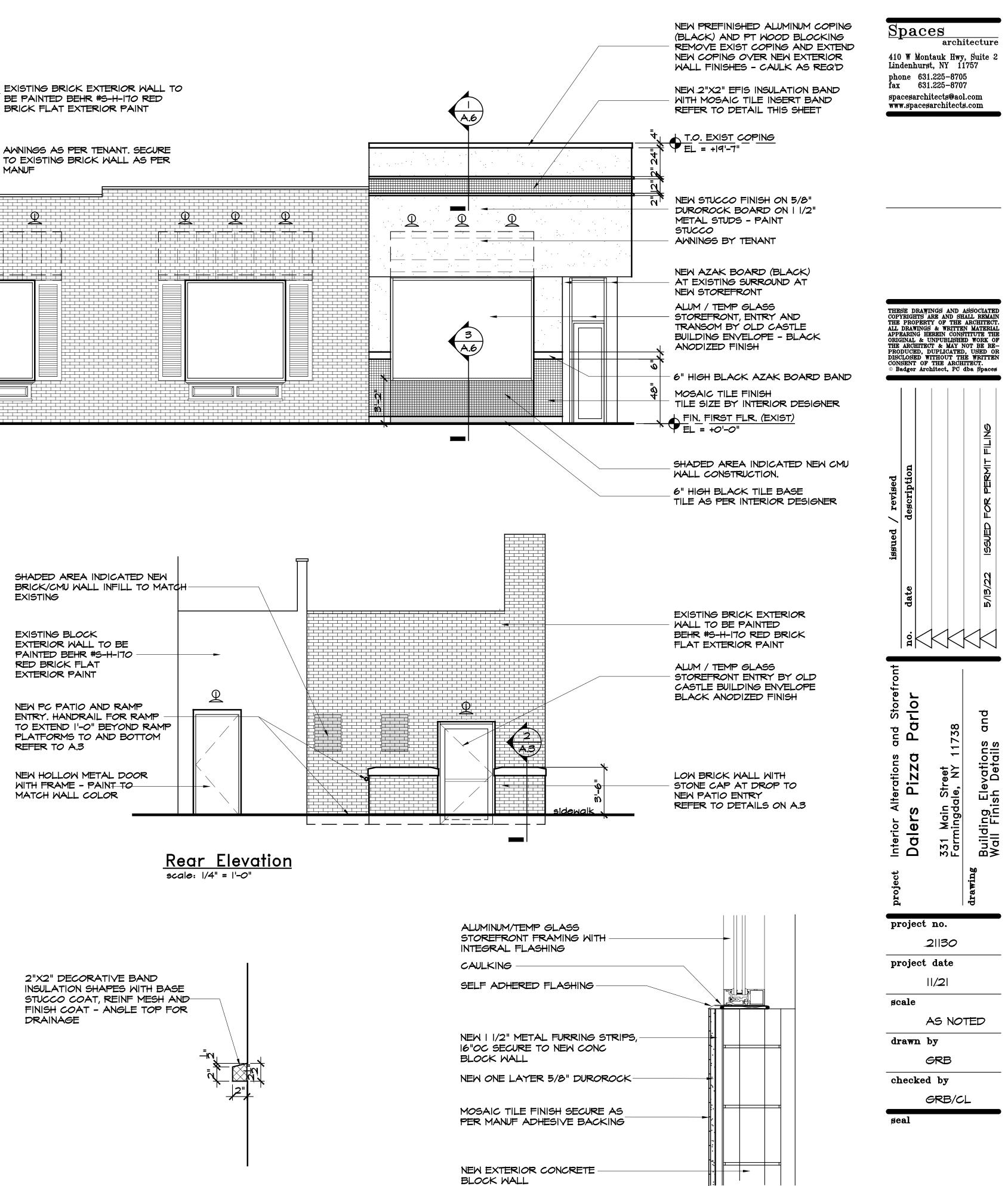
ALUM / TEMP GLASS STOREFRONT PASS THRU, BY OLD CASTLE BUILDING ENVELOPE - BLACK ANODIZED FINISH

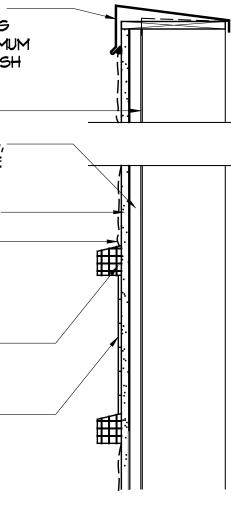
6" HIGH BLACK AZAK BOARD BAND MOSAIC TILE FINISH

TILE SIZE BY INTERIOR DESIGNER FIN. FIRST FLR. (EXIST)

 $\mathbf{H}_{\mathsf{EL}} = \frac{1}{\mathbf{H}_{\mathsf{C}}} \mathbf{H}_{\mathsf{C}}$

SHADED AREA INDICATED NEW CMU WALL CONSTRUCTION. ALIGN WITH FACE OF STOREFRONT





NOTE: ANY FLAT EIFS RIGID INSUL. BD. SURFACES TO BE SLOPED AWAY FROM WALL FOR POSITIVE DRAINAGE WITH EXTRA BASE COAT MATERIAL AS REQ'D BEFORE INSTALLATION OF FINISH COAT

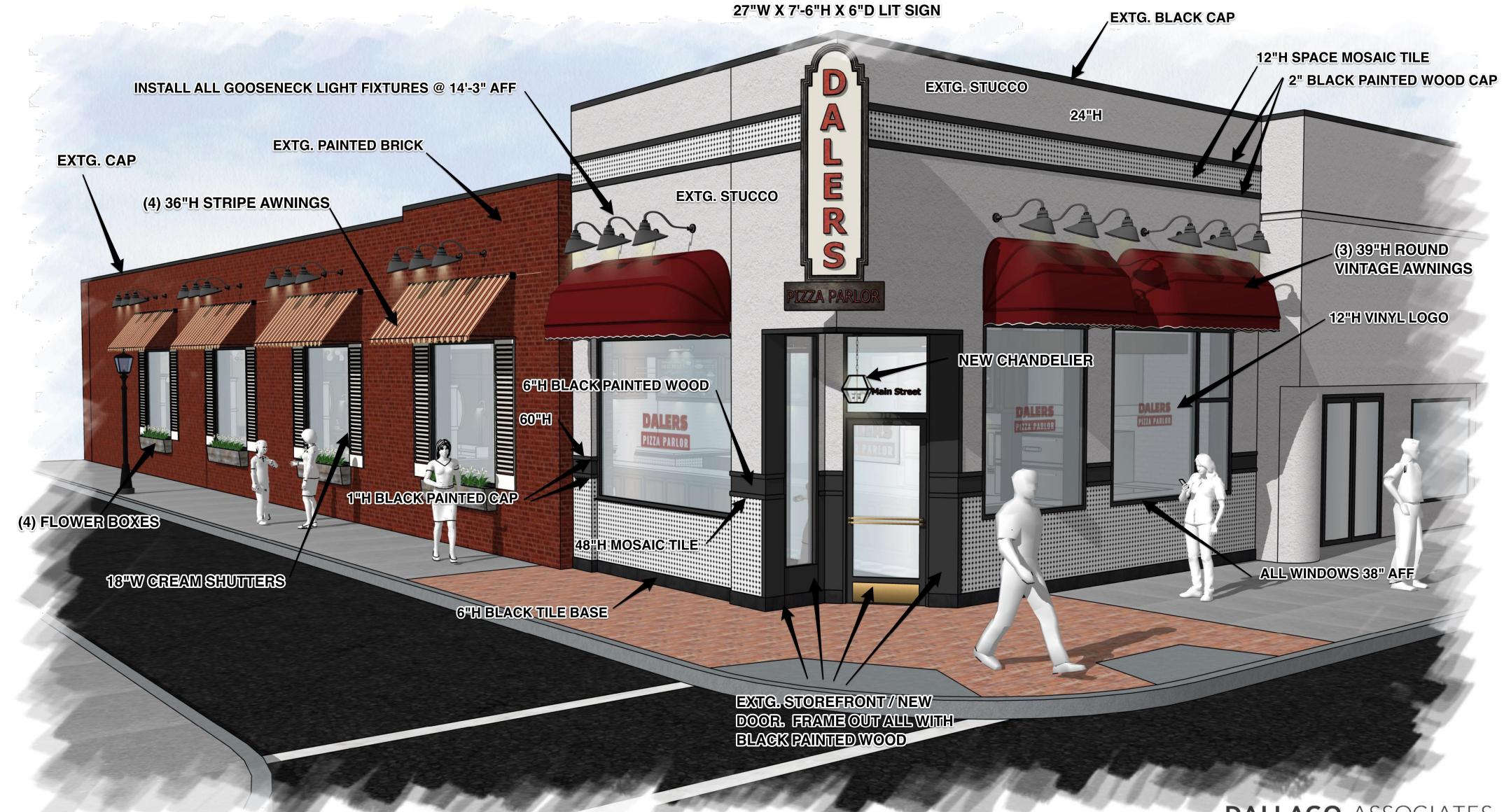
2 A.6 EIFS Decorative Band Detail scale: | 1/2"=1'-0"

George Badger, RA Charles Lembo, RA

drawing number

A.6







DALLAGO ASSOCIATES



DALLAGO ASSOCIATES

DALLAGO ASSOCIATES

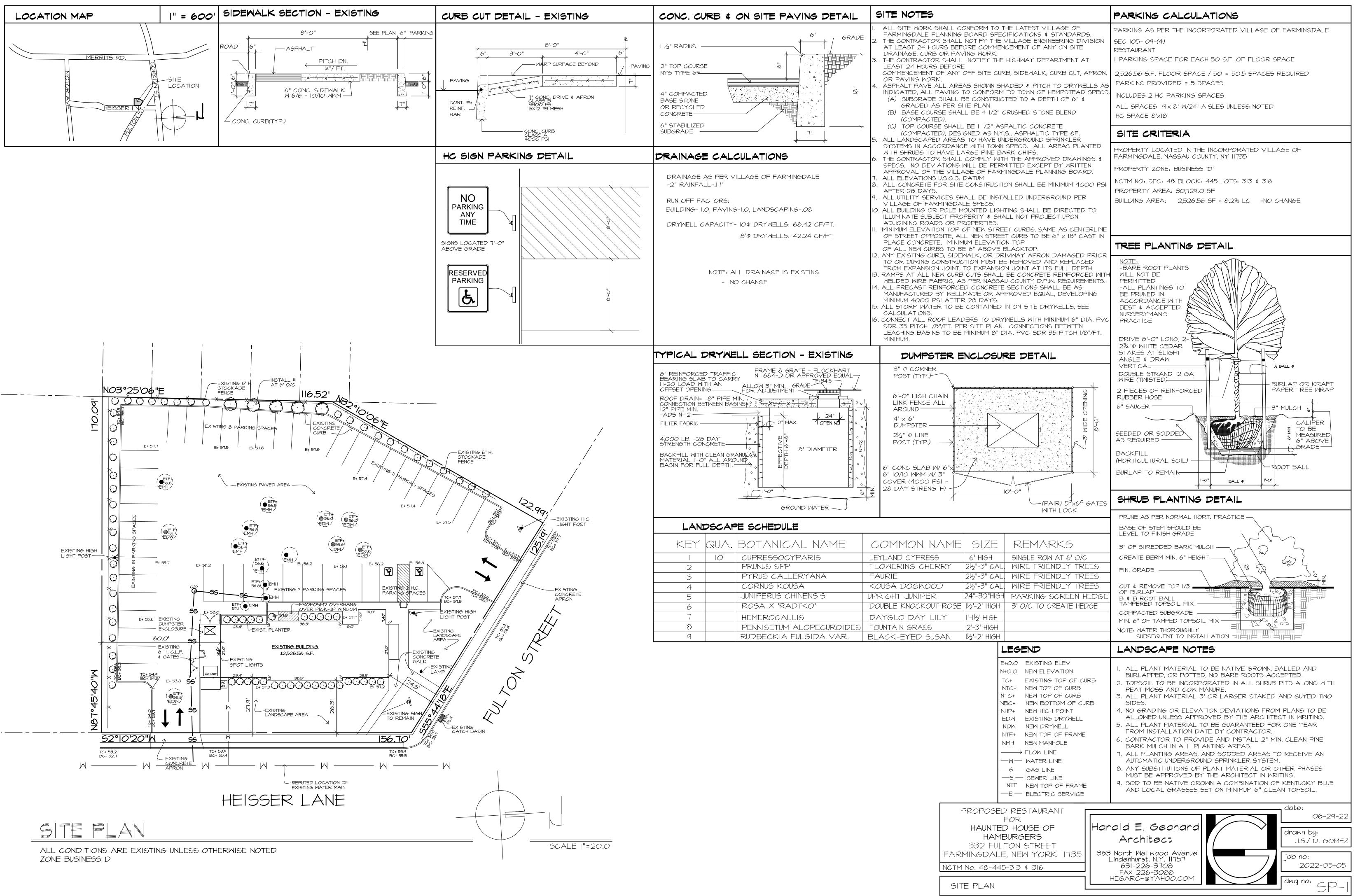
HESE DRAWINGS IE ARCHITECT & MAY NOT BE RE Roduced, duplicated, used c sclosed without the writte ONSENT OF THE ARCHITECT. Badger Architect, PC dba Space and Storet Parlor ア terations Pizza 331 Main Farmingdo လ Interior Daler project no. 21130 project date ||/2| scale drawn by checked by seal

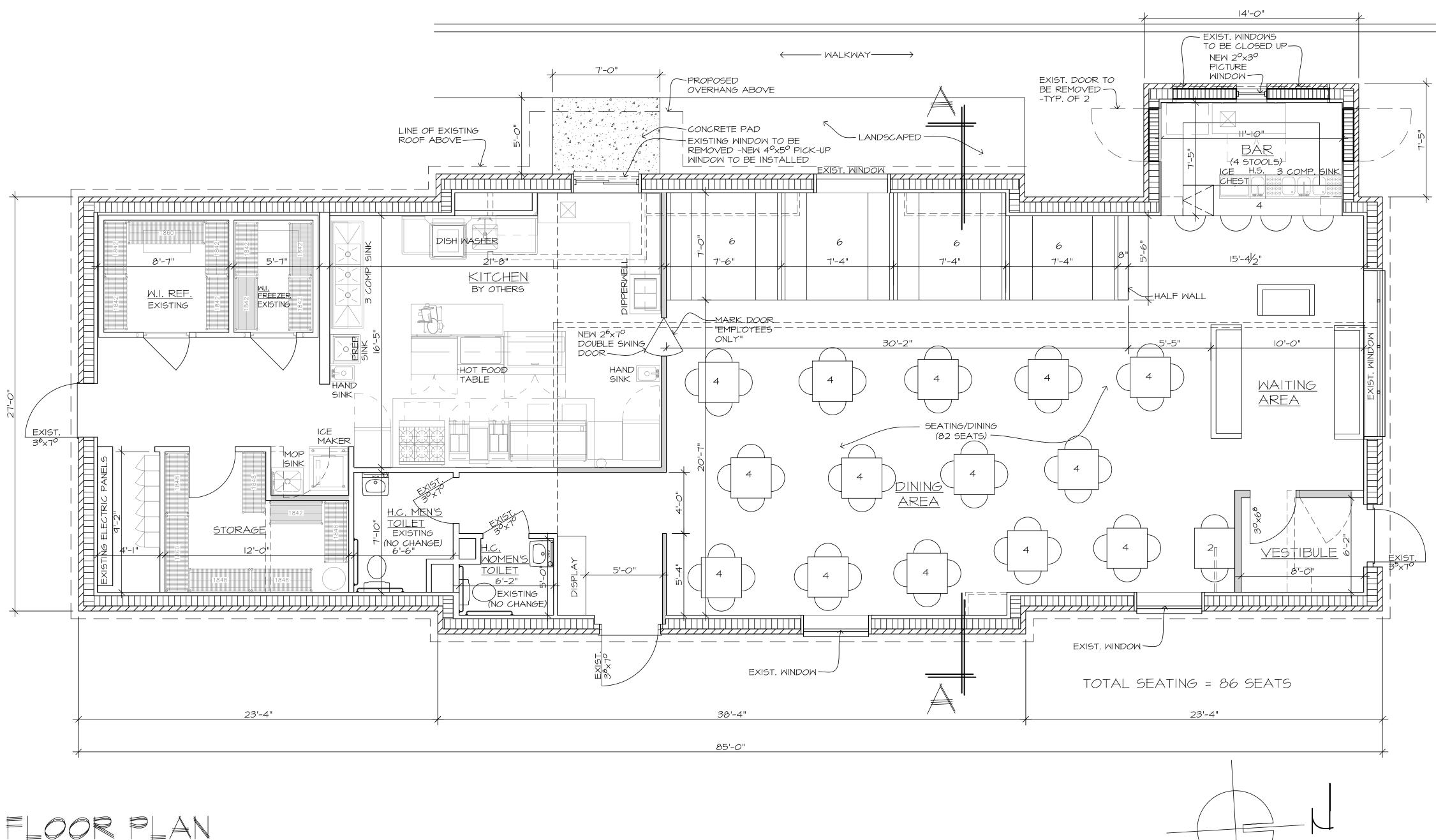
George Badger, RA Charles Lembo, RA drawing number



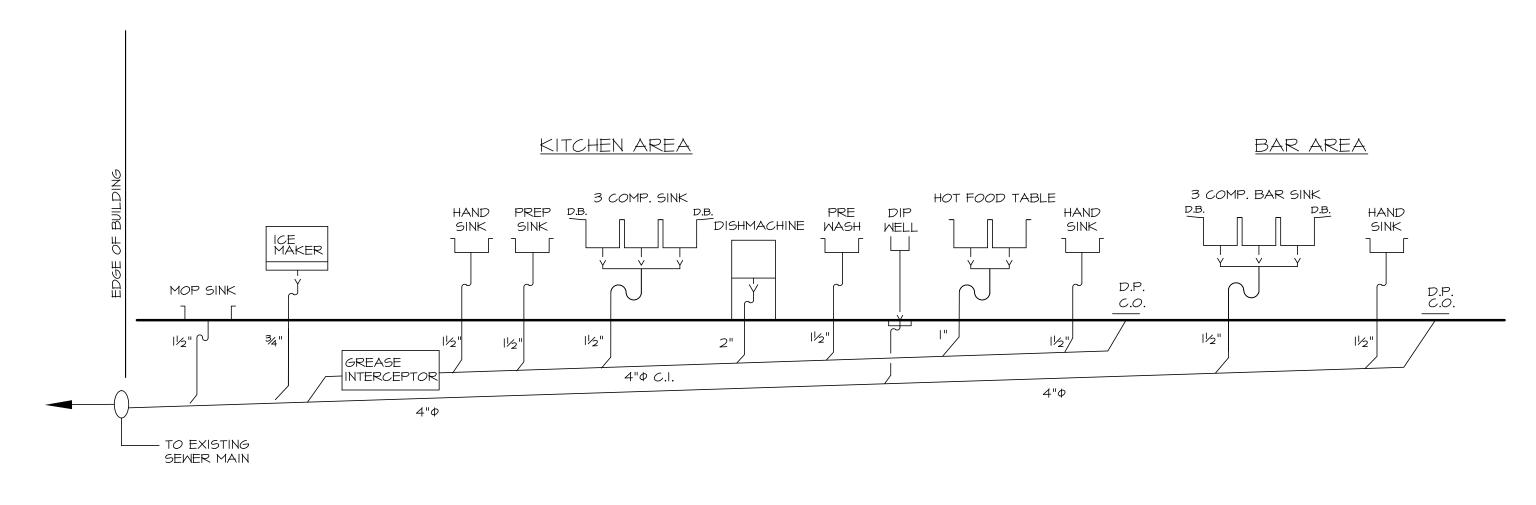
<u>Spaces</u>

architecture 410 W Montauk Hwy, Suite 2 Lindenhurst, NY 11757 phone 631.225-8705 fax 631.225-8707 spacesarchitects@aol.com www.spacesarchitects.com



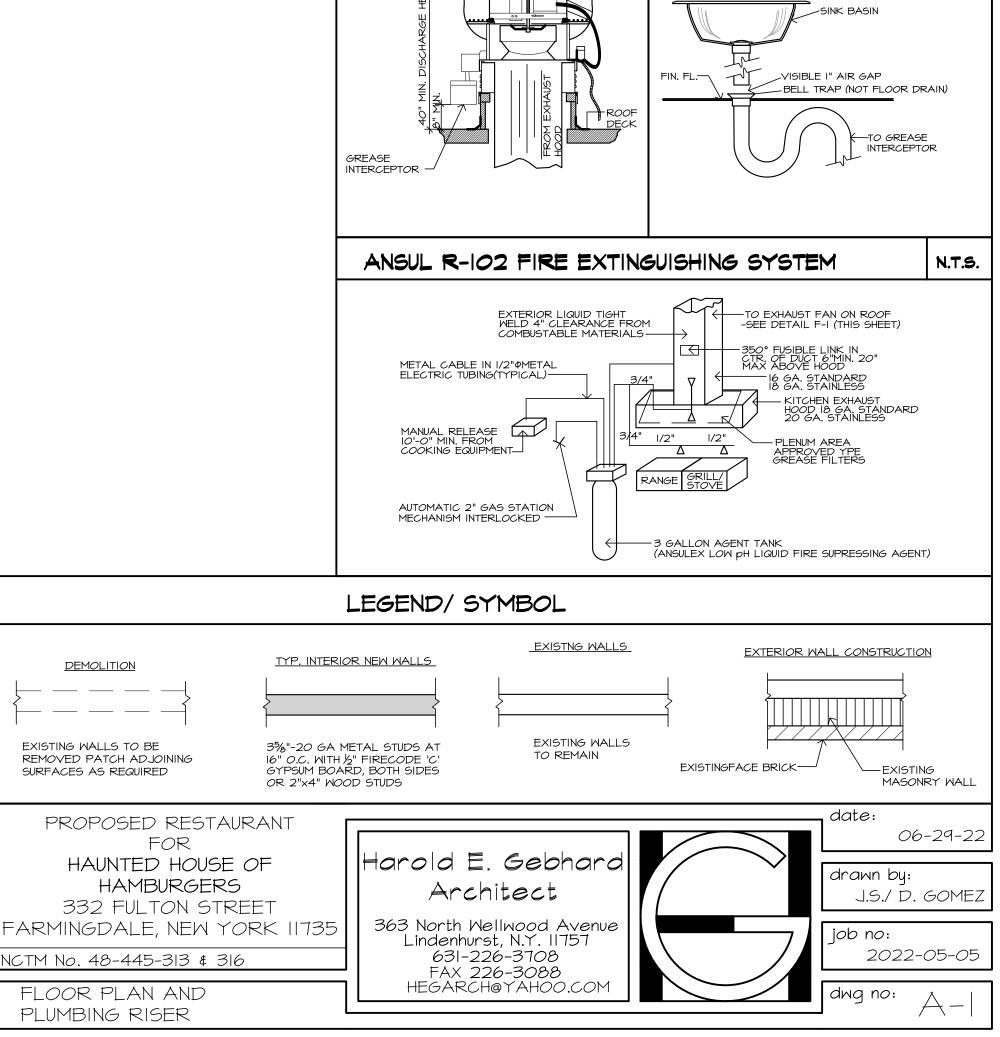






PLUMBING RISER DIAGRAM

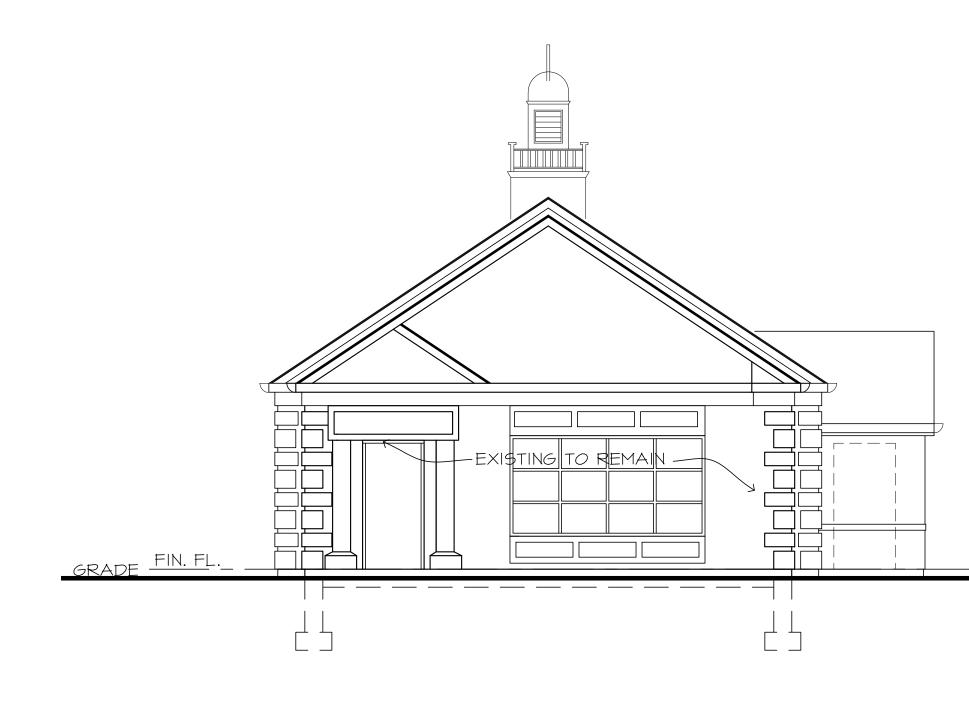
SCALE 1/4"=1'-0"



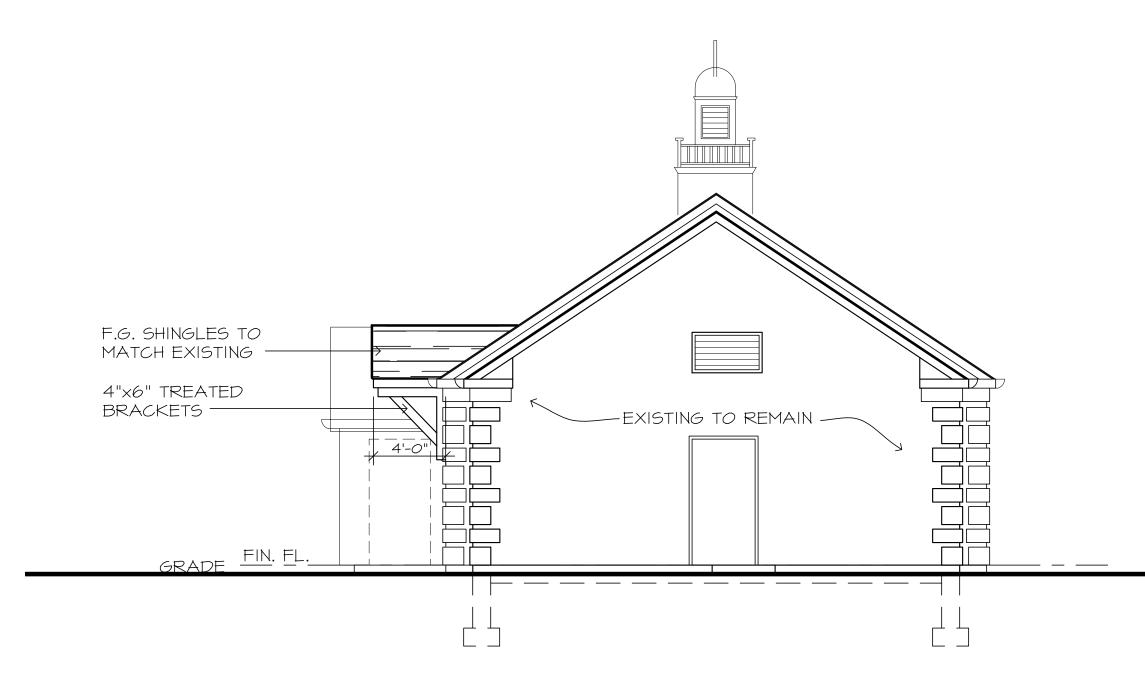
DETAIL F-I

N.T.S. INDIRECT WASTE DETAIL N.T.S.

NOTE:REQUIRED FOR ANY SINK OR UNIT (DISHWASHER) USED FOR WASHING, DEFROSTING, OR COOLING OF FOODS





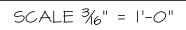


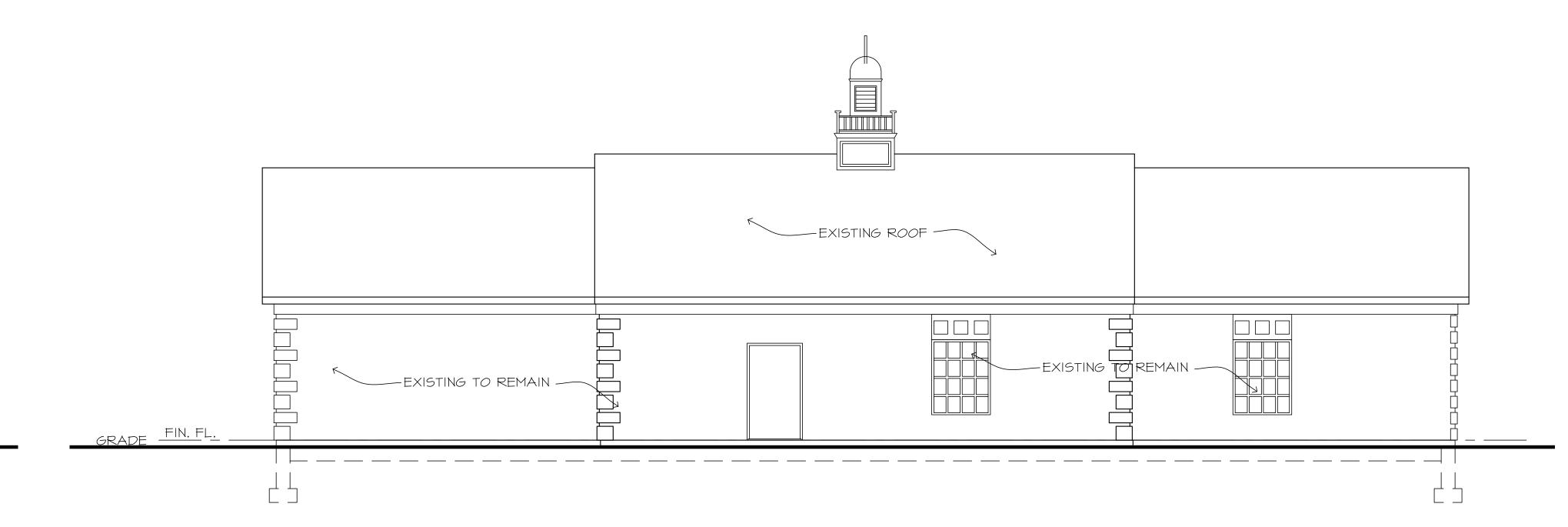
REAR ELEVATION (SOUTH)

SCALE ¾6" = I'-0"







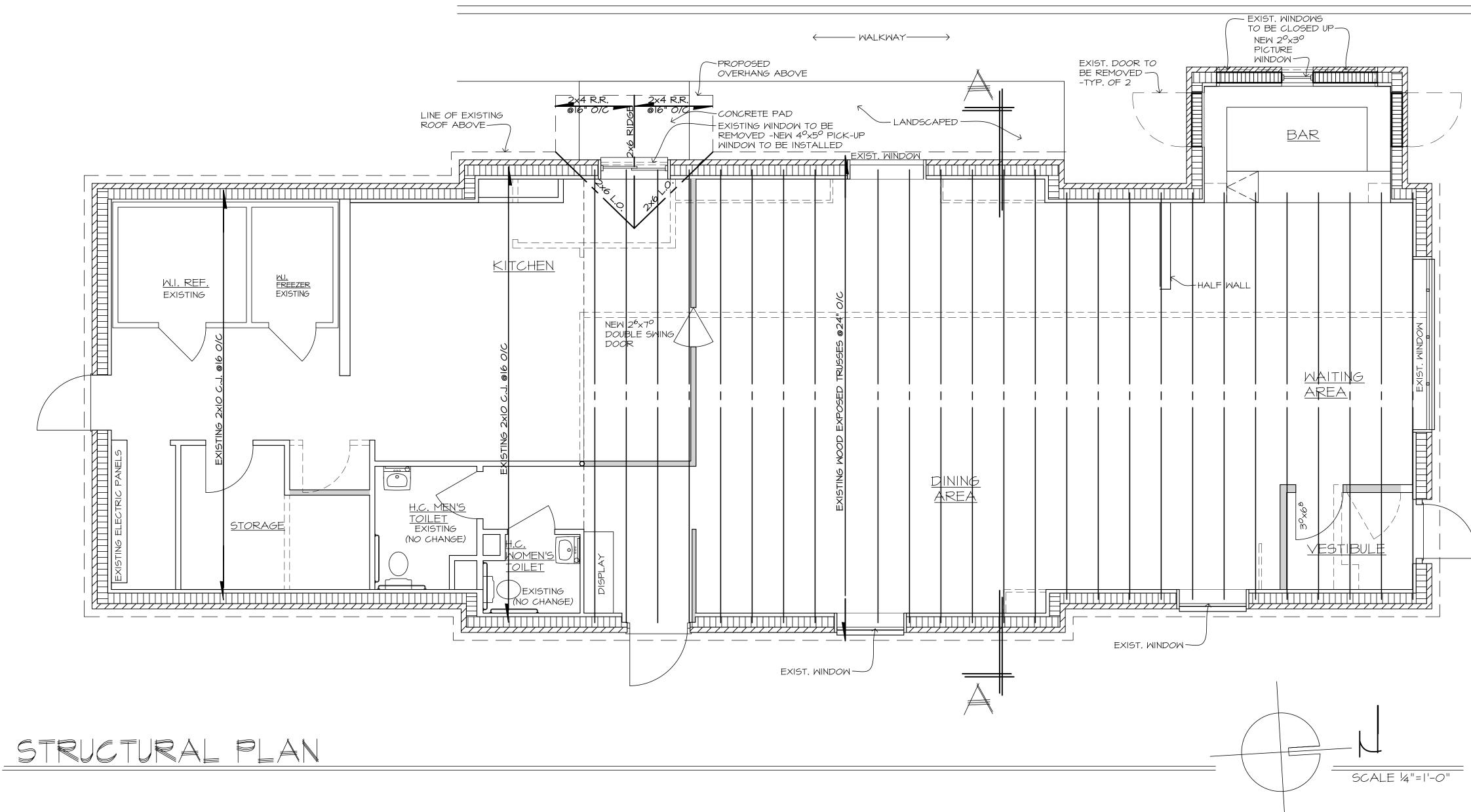


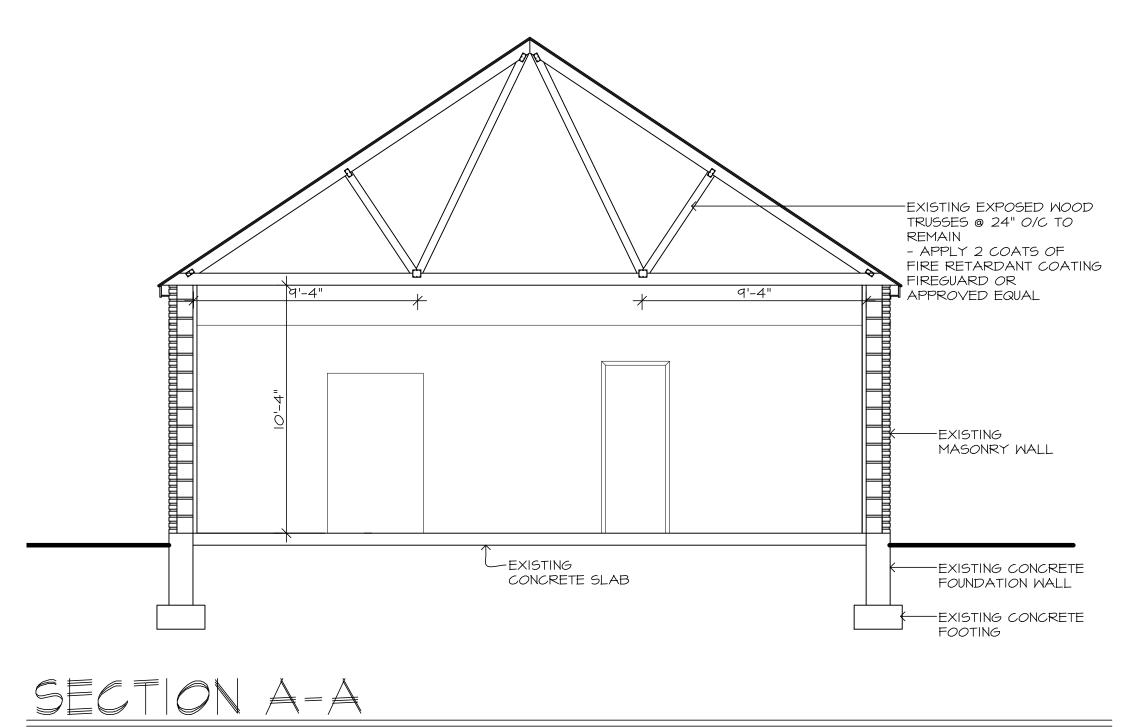


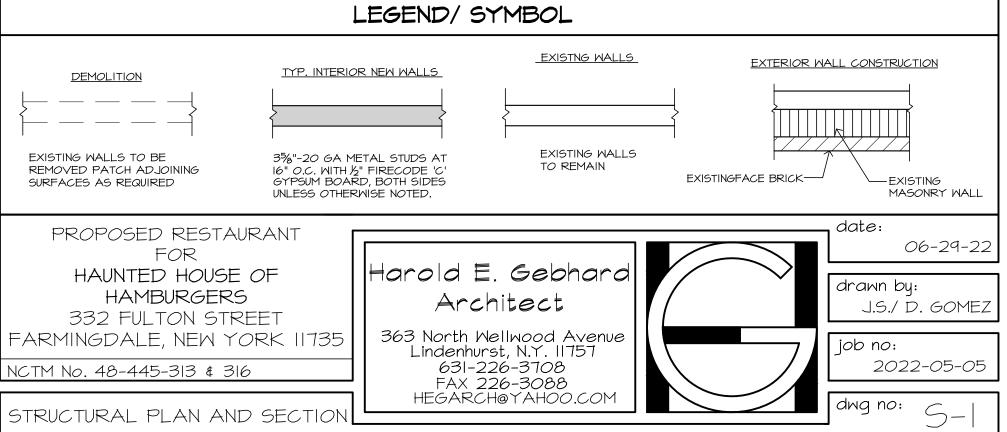
SCALE $\frac{3}{6}$ = 1'-0"

SCALE $\frac{3}{16}$ " = 1'-0"











Quote

Date	Quote #
6/27/2022	4036

Name / Address

Village of Farmingdale Farmingdale, NY 11735 EMAIL ONLY

		Rep	Terms	FOB F	PPY & Add	Project
		JD	Net 30	C	Drigin	
Item	Descrip	otion	Qt	y	Cost	Total
САТ ІІ	Complete CAT II System, com control box, 2 CATS Eye Read ,software license, 1 year warran instructions	lers, 6 user access k	rdware, æy fobs	1	11,301.20	11,301.20
CAT Paw	CAT II Fingerprint reader			1	688.75	688.7:
CAT QR Label	CAT II QR Label, installed. Ap NYS Contract PC69016	pprox Count		80	5.70	456.00

631-661-7515 631-661-7506

Hazardous Incident Response Equipment (HIRE) (Statewide)						
	Contract Period: June 01, 2020 - May 31, 2025					
Contract Updates	Group: 38232 Award: 23173 (Replaces 22872)					
Contractor Information	Use of Contracts: All State Agencies & Political Subdivisions					
Manufacturers	Contact Person: Rachel Smelyansky Telephone: 518-473-2961					
Category Matrix (Excel)	Email Address: PsgHire@ogs.ny.gov					
How to Use	Contract Issued: June 01, 2020 Contract Updated: July 12, 2022					
Appendix C	Rae Systems Product Configurator					
Base Contract	Scott Safety Product Configurator					
Historical Details	Blackline Safety Configurator					
Customer Service	DHS Authorized Equipment List					
If you are new to these contracts, please review the link to "How To Use" first to understand how the contracts work.						
Description: The purpose of these Contracts is to provide Authorized Users with a means of acquiring various types of Hazardous Incident Response Equipment (HIRE) consistent with the Department of Homeland Security Authorized Equipment List (DHS AEL).						
Install Free Ad The above PDF files are availab	obe Acrobat Reader for PDF Documents ble in text by calling Customer Services at (518) 474-6717.					

		Effer	Effective June 1, 2020					
DHS AEL CATEGORY NUMBER	Contractor Item Number	Item Description	Manufacturer Name	Manufacturer Nem Number	Unit of Measure (le, Each/Case)	List Price	HIRE Contract Discount %	HIRE Contract Price
Category 4	CAT It System	2 Position Cylinder Accountability System	Firehouse Systems	CAT II System	Each	\$11,896.00	5.00%	\$11,301.20
Category 4	CAT-Tag	QR Bar Code Label	Firehouse Systems	CAT-Tag	Each	\$6.00	5.00%	\$5.70
Category 4	CAT-Scan	Additional CAT-Scanner for 3rd position SCBA refil enclosures	Firehouse Systems	CAT-Scan	Each	\$2,500.00	5.00%	\$2,375.00
Category 4	CAT-FOB	CAT Key FOB	Firehouse Systems	CAT-FOB	Each	\$25.00	5.00%	\$23.75
Category 4	CAT-PAW	Fingerprint Reader	Firehouse Systems	CAT-PAW	Each	\$725.00	5.00%	\$688.75
Category 4	CAT-Cloud	Cloud, off site data storage, remote access and hardware warranty	Firehouse Systems	CAT-CLOUD	Each	\$1,860.00	5.00%	\$1,767.00
Category 4	CAT-Bracket	Cylinder Suspension Bracket	Firehouse Systems	CAT-Bracket	Each	\$153.00	5.00%	\$145.35
Category 4	CAT-Purge	Compressor Auto Purge	Firehouse Systems	CAT-Purge	Each	\$1,863.00	5.00%	\$1,769.85
Category 4	Feral-CAT	12VDC Isolation Power Supply, Mobilize	Firehouse Systems	Feral-CAT	Each	\$686.00	5.00%	\$651.70
Category 4	CAT-Scade	4-Bank Digital Cascade Control Option	Firehouse Systems	CAT-Scade	Each	\$4,200.00	5.00%	\$3,990.00
Category 4	CAT-Meter	Meter fill rate speed option	Firehouse Systems	CAT-Meter	Each	\$627.00	5.00%	\$595.65
Category 3	FS2214-Head	Beuga Glass Cutting Head Only	Firehouse Systems	FS2214-Head	Each	\$289.00	5.00%	\$274.55
Category 3	FS2214-K	Beluga Glass Cutting Kit, Complete	Firehouse Systems	FS2214-K	Each	\$409.50	5.00%	\$389.03
Category 19	AC0503441110	15HP HushAir 6K PSI Compressor + CO/H20 mon	3M Scott Safety	AC0503441110	Each	\$35,620.00	2.50%	\$34,729.50
Category 19	AC0503541110	20HP HushAir 6K PSI compressor + CO/H20 Mon	3M Scott Safety	AC0503541110	Each	\$36,240.00	2.50%	\$35,334.00
Category 19	AF1101210001	RevolveAir Fill Enc 6K with Control Panel and Low pressure Auxillary fill	3M Scott Safety	AF1101210001	Each	\$10,950.00	2.50%	\$10,676.25
Category 19	AR130200001	2-ASME Storage cylinders with RevolveAir Rack	3M Scott Safety	AR130200001	Each	\$7,180.00	2.50%	\$7,000.50

PC69016 Coastal Fire Systems, Inc. Effective June 1, 2020

,

#23173 - Hazardous Incident Response Equipment

Page 1

\$4,826.25

2.50%

\$4,950.00

Each

AR40200001

3M Scott Safety

2-UN/ISO Storage cylinders with RevilveAir Rack

AR40200001

Category 19

			\bigcirc		\cap			
ASC.	VIIII	a)i	llage of Farmi	nadal	le			E ORDER
			• 361 Main Street • Farmingd				Nº- 3	0568
TANAN	ODAME TO	mage 1 tan	Fel: 516-249-0093 • Fax: 516-24 www.farmingdalevillage.co	49-0355			4	
	SHIP TO:	Firm	inche to Earl	Dept	DELIVERY REQUIRED	Show	this number	on all shipping
V		00 4.1.	18 Chil				ners, packing prrespondenc	g lists, containers e.
EN	Fire	, Com	mand & Control Avenue			NOTE: 7	This Municip Order may b	pal Government e accepted in lieu
0	Gar	Jen C	ity Park, NY 1	1040	1	of Exemp	tion Certific EX-A10958	ate for Sales Tax
R		IN NO.	CONTRACT NO.					4/15/22
H54	QUANTITY	UNIT	/	DESCRIPT	TION		UNIT PRICE	AMOUNT
-	I		Portable Com	WUNJ	TOST L'OCION			\$3950.00
			Sale.	Source	ce provide	R		-
	52	7	Ubelt	B	9201			\$3950.00
			DICES MUST HAVE		Approved for Issue:	Authorized	as lug I Signature	

WHITE - A/P • YELLOW - Vendor • PINK - Originator



INVOICE

259 Park Avenue Garden City Park, NY 11040 Phone/Fax (516) 216-1062

BILL TO: PROJECT INFORMATION: Company: Farmingdale Fire Department Project: Portable Command Post Contact: Chief Mike Di Bartolo Contact: Chief Mike Di Bartolo Phone Number: 516 249-0093 Office Phone Number: 516 250-3363 Cell Address: 95 Raymond Road Address: Dibo115@aol.com City: Farmingdale City: Farmingdale State: NY Zip: 11735 We hereby agree to the following services: Supply custom made self contained Portable Command Post with the following features: Building floor plan template storage area w-Street Template Bright LED rechargeable light w/ 4 hour life w/USB cable Digital Clock Maneuverable 100 Custom multi-colored magnetic DI tags 3 Custom removable magnetic dry erase information template Custom 21" x 40" cover graphics Aluminum Body 1 Universal ICS Vests with interchangeable placard Custom cover graphics
Contact: Chief Mike Di Bartolo Contact: Chief Mike Di Bartolo Phone Number: 516 249-0093 Office Phone Number: 516 250-3363 Cell Address: 95 Raymond Road Address: Dibo115@aol.com City: Farmingdale City: Farmingdale State: NY Zip: 11735 We hereby agree to the following services: State: NY Zip: 11735 Supply custom made self contained Portable Command Post with the following features: Building floor plan template storage area w-Street Template Bright LED rechargeable light w/ 4 hour life w/USB cable Digital Clock NIMS Compliant 100 Custom multi-colored magnetic ID tags 3 Custom removable magnetic dry erase information template Custom 21" x 40" cover graphics Aluminum Body 1 Universal ICS Vests with interchangeable placard
Address: 95 Raymond Road Address: Dibo115@aol.com City: Farmingdale City: Farmingdale State: NY Zip: 11735 We hereby agree to the following services: State: NY Zip: 11735 We hereby agree to the following services: Supply custom made self contained Portable Command Post with the following features: Building floor plan template storage area w-Street Template Bright LED rechargeable light w/ 4 hour life w/USB cable Digital Clock NIMS Compliant 100 Custom multi-colored magnetic ID tags ICS Based 3 Custom removable magnetic dry erase information template Built in wheels 3 Custom 21" x 40" cover graphics Aluminum Body 1 Universal ICS Vests with interchangeable placard
City: Farmingdale City: Farmingdale State: NY Zip: 11735 State: NY Zip: 11735 We hereby agree to the following services: Supply custom made self contained Portable Command Post with the following features: Building floor plan template storage area w-Street Template Bright LED rechargeable light w/ 4 hour life w/USB cable Digital Clock NIMS Compliant 100 Custom multi-colored magnetic ID tags ICS Based 3 Custom removable magnetic dry erase information template Built in wheels 1 Universal ICS Vests with interchangeable placard
State: NY Zip: 11735 We hereby agree to the following services: Supply custom made self contained Portable Command Post with the following features: Building floor plan template storage area w-Street Template Bright LED rechargeable light w/ 4 hour life w/USB cable Digital Clock Maneuverable Digital Clock NIMS Compliant 100 Custom multi-colored magnetic ID tags ICS Based 3 Custom removable magnetic dry erase information template Built in wheels 1 Universal ICS Vests with interchangeable placard
We hereby agree to the following services: Supply custom made self contained Portable Command Post with the following features: Heavy Duty Building floor plan template storage area w-Street Template Light Weight Bright LED rechargeable light w/ 4 hour life w/USB cable Maneuverable Digital Clock NIMS Compliant 100 Custom multi-colored magnetic ID tags ICS Based 3 Custom removable magnetic dry erase information template Built in wheels 1 Universal ICS Vests with interchangeable placard
Supply custom made self contained Portable Command Post with the following features: Heavy Duty Building floor plan template storage area w-Street Template Light Weight Bright LED rechargeable light w/ 4 hour life w/USB cable Maneuverable Digital Clock NIMS Compliant 100 Custom multi-colored magnetic ID tags ICS Based 3 Custom removable magnetic dry erase information template Built in wheels 1 Universal ICS Vests with interchangeable placard
the following features:Heavy DutyBuilding floor plan template storage area w-Street TemplateLight WeightBright LED rechargeable light w/ 4 hour life w/USB cableManeuverableDigital ClockNIMS Compliant100 Custom multi-colored magnetic ID tagsICS Based3 Custom removable magnetic dry erase information templateBuilt in wheelsCustom 21" x 40" cover graphicsAluminum Body1 Universal ICS Vests with interchangeable placard
Light WeightBright LED rechargeable light w/4 hour life w/USB cableManeuverableDigital ClockNIMS Compliant100 Custom multi-colored magnetic ID tagsICS Based3 Custom removable magnetic dry erase information templateBuilt in wheelsCustom 21" x 40" cover graphicsAluminum Body1 Universal ICS Vests with interchangeable placard
Stainless hardwareGreen reflective command post flag w/ 40" fiberglass whipHDPE wear strips to protect all impact surfaces1 set of multi-colored wet erase markersLight weight legs store in main body2 Custom mount aluminum clip boardsQuick setup/ Stable design2 Custom interlocking accountability tablets18 x 37.5 dry erase surfaceMeasures 44"x24"x7"w/handles and WheelsLarge storage area below deck writing surfaceWeight 45 Lbs
Date: July 21, 2022 Portable Command Post @ \$3800.00 \$ 3800.00
Job Number: 030522001 Notes: FD to provide list for 100 magnetic ID tags and Cover Graphics Shipping and Handling
Please sign and return with PO Total Cost \$ 3950.00
ACCEPTED - The above prices and services of this document are satisfactory and are hereby accepted. Please direct purchase orders to FireComCon@gmail.com or FAX# 516-216-1062 and reference the above job number. Terms of NET 30. All FireComCon products are designed exclusively by Fire Command & Control, LLC of Garden City Park, NY (Sole Source), FireComCon does not sell through reps/distributors. There is only one price for government, military, educational and OEM customers. Our Duns# 828383534. Federal ID# is: 83-2620944. Cage Code# is: 6N8V6. NAICS Code is: 423850
Customer Signature Date

St. Kilian Roman Catholic Church 🔬

485 Conklin Street, Farmingdale, New York 11735-2615-0 (616)249-0127



July 19, 2022

2022 JUL 22 P 12:43

Hon. Ralph Ekstrand Mayor Village of Farmingdale 361 Main Street Farmingdale, NY 11735

Dear Mayor Ekstrand,

I would like to take this opportunity to thank you, Deputy Mayor Bill Barrett and Trustee Cheryl Parisi for taking the time to attend our Feast of St. Kilian Mass and Barbecue on July 8th, 2022.

The Celebration for our Patron Saint as well as the closing of our 125th Anniversary Year was a great night of faith and fellowship - and for this we are so grateful. And with your gift of the Proclamation, the loan of the popcorn makers, and, most importantly, your presence, we are so blessed to have such wonderful support from the Village of Farmingdale!

Thank you all again. May God bless you always!

Sincerely,

Kon

Msgr. Mark Rowan Pastor St. Kilian Parish Chaplain Colonel USAF, *Retired*

Nassau County

DEPARTAR

Police Department

BRUCE BLAKEMAN COUNTY EXECUTIVE 1490 Franklin Avenue Mineola, New York 11501 (516) 573-8800

PATRICK J. RYDER COMMISSIONER

June 23, 2022

Mayor Ralph Eckstrand Village of Farmingdale 361 Main Street Farmingdale, NY 11735

Dear Mayor Eckstrand,

Thank you for your letter of recent date, wherein you expressed your gratitude to the members of our department that were part of the PRIDE event on June 12, 2022.

It is gratifying to know that this Department was able to be of service and on behalf of the members involved, I thank you for your thoughtfulness in writing.

We are one team!

Sincerely,

Patrick J. Ryder Commissioner



PJR:co